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ORDINANCE NO. PZ-C-004-10

**AN ORDINANCE OF THE BOARD OF SUPERVISORS OF PINAL COUNTY, ARIZONA, RELATING TO ZONING AND AMENDING THE PINAL COUNTY DEVELOPMENT SERVICES CODE, TITLE 2 (COUNTY ZONING ORDINANCE), CHAPTER 2.140 (OFF-STREET PARKING AND LOADING – PUBLIC GARAGES AND FILLING STATIONS)**

**WHEREAS**, the Board of Supervisors on February 10, 2010, approved the codification of all Development Services ordinances, and the codification as the Pinal County Development Services Code became effective on March 13, 2010;

**WHEREAS**, Ordinance No. 61862, as amended, is the Pinal County Zoning Ordinance as codified in Title 2 of the Pinal County Development Services Code;

**WHEREAS**, it is in the best interest of the public to amend chapter 2.140 of the county zoning ordinance in the Pinal County Development Services Code to meet current needs.

**BE IT ORDAINED BY THE BOARD OF SUPERVISORS OF PINAL COUNTY, ARIZONA:**

**SECTION 1.** The heading for Chapter 2.140 In the Pinal County Zoning Ordinance, title 2 of the Pinal County Development Services Code (“PCDSC”) is amended by changing the term “filling stations” to “gas stations” to correspond with the changes being made in PCDSC 2.140.070.

**SECTION 2.** PCDSC 2.140.010 is amended by deleting the current PCDSC 2.140.010 (Parking space defined) and adding a new PCDSC 2.140.010 adding minimum parking space dimensions and circulation requirements. PCDSC 2.140.010 is amended to read as follows:

**Chapter 2.140  
OFF-STREET PARKING AND LOADING – PUBLIC GARAGES AND GAS STATIONS**

**2.140.010 MINIMUM PARKING SPACE DIMENSIONS AND CIRCULATION:**

- A. Each parking space that is perpendicular to an aisle shall be at least 10 feet in width and 20 feet in length.
- B. Each parking space that is parallel to an aisle shall be at least 10 feet in width and 23 feet in length.
- C. Parking area aisle widths shall conform to the following table, which varies the width requirement according to the angle of parking.

REQ. AISLE WIDTH	PARKING ANGLE		
	45 °	60 °	90 °
One-Way Traffic	16'	18'	24'
Two-Way Traffic	24'	24'	24'

- D. Entrances and exits to parking lots and other parking facilities shall be provided only at defined entry and exit locations approved by the Pinal County Public Works Department.
- E. The minimum width of one-way driveways to a street shall be 16 feet. The minimum width of two-way driveways shall be 24 feet.
- F. Passenger Drop-Off Points: Drop-off points separated from street traffic and readily accessible without hazardous maneuvering shall be provided in conjunction with the following uses: Hotels, motels,

hospitals and clinics, and educational facilities with 50 or more guests, patients or pupils; daycare centers; religious facilities with 100 or more seats; transit terminals, major recreational facilities; commercial airports; public buildings and offices and financial services greater than 5,000 square feet of gross floor area.

**SECTION 3.** PCDSC 2.140.020 (Parking space requirements) is amended by deleting the current sub-sections "A" through "M," adding a new sub-section "A" reorganizing types of land uses with parking space requirements and adding some new land uses with parking space requirements into a table format; and adding new sub-sections "B" through "I" establishing requirements for location, queuing lanes, shared parking, uses not specified, fractional measurements, accessible parking, compact parking spaces and signs. PCDSC 2.140.020 is amended to read as follows:

2.140.020 Parking space requirements.

A. The minimum number of off-street motor vehicle parking spaces shall be provided according to the following schedule and subject to the conditions in any zone in which any of the following uses shall hereafter be established:

<b>USES</b>	<b>MINIMUM PARKING SPACES</b>
<b>RESIDENTIAL</b>	
Single Residence	Two per dwelling unit
Multiple Residence Efficiencies/studios One bedroom Two or more bedrooms Guest spaces	1 per dwelling unit 1.5 per dwelling unit 2 per dwelling unit 1 per 10 dwelling units
Manufactured Home Park/Park Model (PM) & Recreational Vehicle (RV) Park	One per dwelling unit; plus one visitor parking space per four dwelling units and parking spaces to meet the needs of any commercial, office or public assembly.
Boarding, rooming and lodging houses, fraternities, sororities, dormitories and other student housing	One per three roomers; plus one per two employees on the largest working shift.
Bed and breakfast	One per guest unit; plus two for resident family and one per employee
<b>EDUCATIONAL INSTITUTIONS</b>	
Day care or nursery school	One per employee plus one for every five children
Elementary or middle school	One for every 1.5 employees including administrators, teachers and non-teaching personnel; plus one for every four auditorium seats
High school	One for every two employees including administrators, teachers and non-teaching personnel and one for every five students
College, university, trade or vocation school	One for every two employees including administrators, teachers and non-teaching personnel and for every two students
<b>PROFESSIONAL AND SEMI-PROFESSIONAL OFFICES</b>	One per 300 square feet of total indoor floor area

<b>COMMERCIAL, SALES/SERVICES</b>	One per 250 square feet of total indoor floor area; plus one per 5,000 square feet of outside display area
<b>GOLF COURSE</b>	One per 250 square feet of total indoor floor area; plus one per 250 square feet of outdoor seating area; plus one for every two employees; and plus three per golf green. Ten percent (10%) of required parking spaces may be sized for golf carts
<b>HOTELS, MOTELS, RESORTS AND GUEST RANCHES</b>	One per room or suite and one for every two employees
<b>PUBLIC ASSEMBLY FACILITIES:</b>	
Churches	One per four seats
Theaters, stadiums and auditoriums	One per five seats; plus one per two employees on the largest working shift
Commercial roping arenas	One per three seats
Fairgrounds and amusement parks	One per 500 square feet of indoor and outdoor public area
Assembly halls, community centers, clubs, lodges, community service agencies and all other public facilities	One per every 50 square feet of total floor area used for public assembly or one per three seats in the main assembly room, whichever is greater
<b>JAILS, PRISONS, OFFENDER REHABILITATION FACILITIES</b>	One for every twenty-five (25) inmates of design capacity plus one per employee in the largest working shift
<b>HOSPITALS</b>	Two per three beds; plus one for each doctor and one per two employees on the largest working shift
<b>ASSISTED LIVING FACILITY</b>	One per two bedrooms plus one per employee in the largest working shift.
<b>GROUP HOMES</b>	One parking space for each 3 roomers that the group home is intended or designed to accommodate; such space shall be provided on the building site on which said building is located or on a lot owned by the same property owner as the building site, immediately adjacent thereto.
<b>MORTUARY, FUNERAL HOMES, OR CREMATORY</b>	One per 50 square feet of total floor area
<b>CEMETERY</b>	One space per employee (minimum six) plus ten spaces if no internal drives exist which can accommodate two passing vehicles
<b>INDUSTRIAL/OTHER</b>	
Manufacture, Wholesale, Warehouse, distribution and storage of goods	One per 1,000 square feet of total floor area or one per three employees in the largest working shift, whichever is greater
<b>RESTAURANTS, COCKTAIL LOUNGE, AND BARS</b>	One per 150 square feet of total indoor floor area. One per 250 square feet of total outdoor floor area, excluding the first 250 square feet of total outdoor floor area

- B. Location:
1. Parking spaces required for residential dwelling units shall be located within the same parcel as it serves and shall be within 300 feet from the dwelling unit.
  2. Parking spaces shall be located such that each space has access to the use to be served without crossing a public or private street or a railroad right-of-way.
- C. Queuing lanes: Queuing lanes for all drive-thru establishments shall be provided on site. Queuing lanes shall be calculated as a queuing space at a minimum of nine feet in width and 20 feet in length. The queuing lane shall be measured from the front of the stopped vehicle located at the point of service and/or pick-up window to the rear of the queuing lane. One additional queuing space shall also be provided to allow motor vehicles to pull beyond the point of service and/or pick-up window for all uses. Queuing lanes shall be in addition to required off street parking and shall be designed so as not to interfere with the operation of driveways and maneuvering areas for off street parking areas. The following requirements are additional requirements.
1. Banks, savings and loan establishments, and other similar financial institutions: Minimum of six queuing spaces for the first queuing lane plus four queuing spaces per additional queuing lane.
  2. Drive-thru Restaurant: Minimum five queuing spaces measured from pick up window plus an additional two queuing spaces measured from menu board.
  3. All other drive-thru establishments not addressed shall have a minimum of five queuing spaces from the point of service and/or pick-up window.
  4. Establishments providing multiple points of service shall provide a minimum of two approach lanes.
  5. Full Service Car Wash: Minimum three queuing spaces per bay.
- D. Shared Parking: In Business and Industrial Zones, shared parking may be provided subject to the following requirements:
1. Shared parking shall be for two or more uses located on adjacent or contiguous parcels.
  2. All shared parking facilities shall be located within 500 feet of the uses served.
  3. Submit a site plan with required parking calculations of parking spaces intended for shared parking and legal description of the property boundaries describing all parcels.
  4. Submit a pedestrian circulation plan that shows connections and walkways between shared parking areas and uses. Paths should be as direct and short as possible.
  5. An association shall be established to manage the shared parking area.
  6. The association shall record a shared parking agreement for the described parking areas. The recorded agreement shall provide information on shared access and shared drainage. A copy of the shared parking agreement shall be submitted to the planning and development department upon submittal of all formal site plan applications.
  7. The association shall be the responsible party to submit all formal site plans to the County for any new site approvals, amendments to an approved site plan or changes in shared parking. All owners and proposed owners shall be notified of any changes by the association.
  8. The County shall be notified by the association of any changes regarding association contact information.
- E. Use Not Specified: For a use not specifically listed, requirements shall be the same as those for the most similar use listed as determined by the Planning Director.
- F. Fractional Measurements: When calculation of parking requirements results in a fractional amount, any fraction of less than  $\frac{1}{2}$  shall be disregarded and any fraction of  $\frac{1}{2}$  or more shall require an additional parking space.
- G. Accessible Parking:
1. Accessible parking space size shall be a minimum of 10 feet in width and 20 feet in length in addition to a 5 foot access aisle located on the right side. For a double space the size shall be 20 feet in width and 20 feet in length in addition to a 5 foot access aisle between the spaces.
  2. All off-street parking areas shall comply with ADA (American with Disabilities Act) standards for accessible design.
  3. Shall be functionally located as near as possible to the main entrance of the establishment served, with a barrier-free path.

4. Parking space identification signs shall include the international symbol of accessibility on pavement markings and signs.
- H. Compact Parking Spaces:
1. Compact parking spaces shall be at least 9 feet in width and 20 feet in length.
  2. Parking facilities providing 10 or more required off-street parking spaces for a retail use may provide up to 30 percent of the required spaces as compact car parking spaces. Each parking space shall be signed as "COMPACT" on the pavement.
  3. Parking spaces shall be located in groups and no more than 10 in a row.
- I. Signs: Signage and markings for parking facilities shall conform to the Manual on Uniform Traffic Control Devices (MUTCD).

**SECTION 4.** PCDSC 2.140.030 (Development of parking area) is amended by deleting in sub-section "B" the phrase "not more than five and not less than" and substituting the words "at least" in front of the words "four feet in height," by deleting in sub-section "C" the words "property line" and substituting the words "the parking area," by deleting in sub-section "D" the words "Pinal County light ordinance" and substituting the words "county lighting regulations," and by adding in sub-section "E" the word "motor" in front of the word "vehicles" and deleting the word "therefrom." PCDSC 2.140.030 is amended to read as follows:

2.140.030 Development of parking area.

A. [Remains the same.]

B. Where a parking area for a business or industrial use adjoins or is within a residential zone, there shall be a solid wall of masonry or other approved fireproof material, at least four feet in height, along the boundaries adjoining residence lots, except that adjoining the front yard of a residence lot, said wall shall be three feet six inches in height.

C. Anywhere a wall is required, a minimum landscaped yard of five feet shall be provided between the wall and the parking area.

D. Any lights used to illuminate said parking space shall be so arranged as to reflect the light away from adjoining lots in residential zones and be installed in accordance with the county lighting regulations.

E. All parking spaces shall be designed so that motor vehicles exiting will not be required to back out across any sidewalk or into any street.

**SECTION 5.** PCDSC 2.140.040 (Loading space defined) remains the same.

**SECTION 6.** PCDSC 2.140.050 (Loading space requirements) is amending by deleting the phrase "abutting an alley or having access to two or more streets," by deleting the word "all" and substituting the word "three" in front of the word "sides" and by deleting the words "not less than" and substituting the words "at least" in front of the phrase "six feet in height." PCDSC 2.140.050 is amended to read as follows:

2.140.050 Loading space requirements.

On any lot at least one off-street loading space shall be provided and maintained for every building or part thereof occupied by manufacturing, storage, warehouse, goods display, retail store, wholesale store, market, hotel, mortuary, hospital, laundry, dry cleaning establishment, or other use similarly requiring the receipt or distribution by vehicles of materials or merchandise; and one additional loading space shall be provided for each 10,000 square feet of gross floor space so used in excess of 10,000 square feet. Such space may occupy all or any part of any required yard. No such space shall be located closer than 50 feet to any other lot in any residential zone unless wholly within a completely enclosed building or enclosed on three sides by a solid fence or wall at least six feet in height..

**SECTION 7.** PCDSC 2.140.060 (Building over loading space) remains the same.

**SECTION 8.** PCDSC 2.140.070 (Public garage, parking lots and filling stations) is amended by replacing the term "gasoline filling station" with the term "gas station," by replacing the term "automobile" with the term "motor vehicle," by adding the word "built" in front of the words "within 50 feet," by adding the word "or" in front of the words "public library," by deleting the words "or institution for dependents or for children" and by deleting the word "distant" and substituting the word "located" in front of the words "at least 12 feet." PCDSC 2.140.070 is amended to read as follows:

2.140.070 Public garage, parking lots and gas stations.

A. No gas station, motor vehicle repair shop, public garage or parking lot shall have an entrance or exit for vehicles on the same side of the street within 30 feet of a residence zone, nor shall any part of a gas station, public garage or motor vehicle repair shop be built within 50 feet of the ground of any school, public playground, church, hospital, sanatorium, or public library.

B. No gas station or public garage shall have any oil draining pit or visible appliance for such purpose, other than filling caps, located within 12 feet of any street lot line or within 50 feet of any residential zone, unless such appliance or pit is within a building and located at least 12 feet from any vehicular entrance or exit of such building.

**SECTION 9.** This ordinance shall take effect 31 days from and after the date of its adoption.

**PASSED AND ADOPTED** by the Board of Supervisors, Pinal County, Arizona, this 18<sup>th</sup> day of August, 2010.



  
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PETE RIOS, Chairman of the Pinal County Board of Supervisors

ATTEST:

  
\_\_\_\_\_  
Clerk of the Board

APPROVED AS TO FORM:  
JAMES P. WALSH, PINAL COUNTY ATTORNEY

By:   
\_\_\_\_\_  
Deputy County Attorney