

**ORDINANCE NO. 2024-18**

**AN ORDINANCE OF THE CITY OF LARGO, FLORIDA AMENDING THE CITY OF LARGO COMPREHENSIVE DEVELOPMENT CODE BY AMENDING SUBSECTIONS 7.2.6.D(1)c., 7.4.5.D(1)c., AND 10.5.2.C(2)a., FIGURE 7-10, and TABLE 10-4 REVISING DEVELOPMENT STANDARDS AND LANDSCAPE BUFFER TYPES BY USE AND LOCATION FOR THE LARGO TRI-CITY ACTIVITY CENTER AND LARGO TRI-CITY MULTIMODAL CORRIDOR OVERLAY IN ORDER TO BETTER ACCOMPLISH COMPATIBILITY WITH ADJACENT USES; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.**

**WHEREAS**, the City of Largo has adopted the Comprehensive Development Code (CDC), which encompasses the City's land development regulations; and

**WHEREAS**, the CDC is intended to regulate development so as to protect the health, safety, and welfare of the citizens of Largo, and to implement the City's Comprehensive Plan; and

**WHEREAS**, the City of Largo adopted the Largo Tri-City Special Area Plan; and

**WHEREAS**, the City of Largo amended the Comprehensive Plan to incorporate policies supporting the implementation of the Largo Tri-City Special Area Plan; and

**WHEREAS**, the City Commission recognizes that the goals and policies of the Comprehensive Plan and the principles of the Strategic Plan define the community's vision for urban design and are intended to facilitate new development and redevelopment that is compatible with existing neighborhoods and businesses; and

**WHEREAS**, the City Commission recognizes that compatibility is defined by state statutes as: "a condition in which land uses or conditions can coexist in relative proximity to each other in a stable fashion over time such that no use or condition is unduly negatively impacted directly or indirectly by another use or condition" F.S., 163.3164(9); and

**WHEREAS**, the City Commission recognizes that single family home uses and/or properties with very low density (up to 1 unit per acre) or low density (2.5 to 7.5 units per acre) residential FLUM designations require greater transitions from more intense development in the Largo Tri-City Special Area Plan boundaries; and

**WHEREAS**, the City Commission wishes to amend development standards and regulations related to minimum building setbacks and set-backs as well as required buffers to minimize impact to existing and future single family home uses and/or properties with very low density (up to 1 unit per acre) or low density (2.5 to 7.5 units per acre) residential FLUM designations that are in and adjacent to the Largo Tri-City Special Area Plan boundaries.

NOW, THEREFORE, THE CITY OF LARGO CITY COMMISSION HEREBY ORDAINS:

**SECTION 1.** That above recitals are true and correct and are hereby incorporated by reference as the findings of the City Commission.

**SECTION 2.** That Section 7.2.6.D(1)c. of the Comprehensive Development Code is amended to read as follows:

**7.2.6 - Largo Tri-City Activity Center**

...

D. *Development standards* - Development standards apply to all parcels within the LTAC overlays in addition to all other applicable CDC standards, including but not limited to minimum lot sizes, impervious surface ratios and landscaping. Where there is a conflict between the standards of this section and other development standards in this CDC, the standards of this section shall govern.

(1) Building Form and Placement:

...

c. Compatibility with Adjacent Uses:

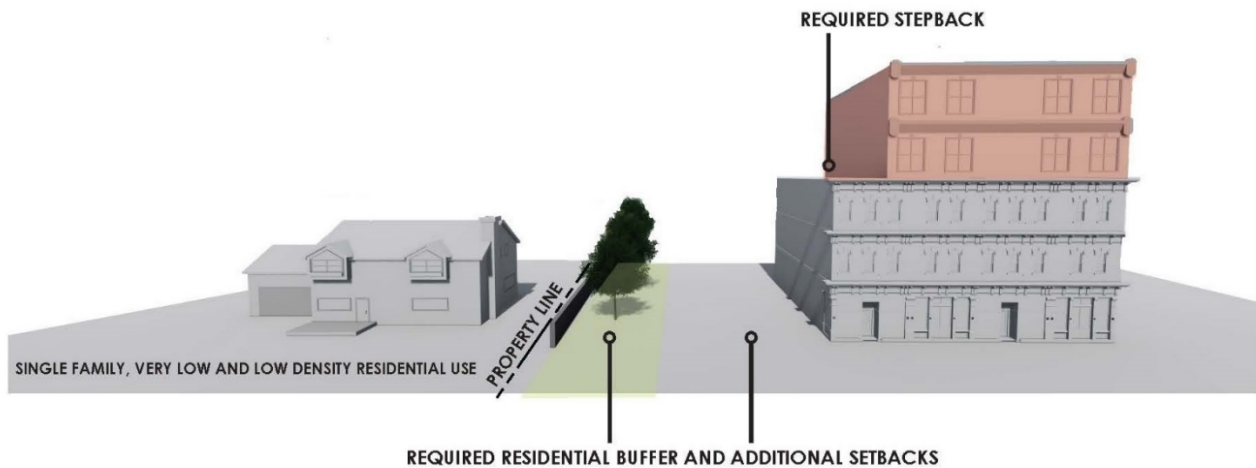
(i) Building height setbacks - Buildings exceeding 3-stories adjacent to property with existing single family home uses or property with a very low density (up to 1 unit per acre) or low density (2.5 to 7.5

units per acre) residential FLUM designation shall have a building stepback to minimize impacts on adjacent properties. The building stepback shall measure a minimum of ten (10) feet deep from the lower story building facade commencing above the third story to increase light and air movement and mitigate the effect of the increased height on the adjacent properties. At the discretion of the DCO, if setbacks are proposed beyond the minimum required, stepbacks may be waived. See Figure 7-10.

- (ii) Additional setback requirements - Buildings exceeding 2-stories adjacent to property with a very low density residential FLUM designation (up to 1 unit per acre) shall have a fifty (50) foot setback in addition to the minimum required buffer for every story above the second story. For example: a 4-story building shall have a setback of at least one-hundred (100) feet in addition to the minimum required buffer from adjacent property with a very low density residential FLUM designation. Buildings exceeding 2-stories adjacent to property with existing single family home uses or property with a low density residential FLUM designation (2.5 to 7.5 units per acre) shall have a twenty (20) foot setback in addition to the minimum required buffer for every story above the second story. For example: a 4 story building shall have a setback of at least forty (40) feet in addition to the minimum required buffer from adjacent property with existing single family home uses or property with a low density residential FLUM designation. See Figure 7-10.

**SECTION 3.** That Figure 7-10 contained in Section 7.2.6.D(1)c. of the Comprehensive Development Code is amended to read as follows:

**Figure 7-10: Building Height Stepbacks & Additional Setbacks**



**SECTION 4.** That Section 7.4.5.D(1)c. of the Comprehensive Development Code is amended to read as follows:

#### **7.4.5 - Largo Tri-City Multimodal Corridor Overlay**

...

- D. *Development standards* - Development standards apply to all parcels within the Largo Tri-City Multimodal Corridor Overlay in addition to all other applicable CDC standards, including but not limited to minimum lot sizes, impervious surface ratios and landscaping.

- (1) Building Form and Placement:

...

- c. Compatibility with Adjacent Uses:

- (i) Building height setbacks - Buildings exceeding 3-stories adjacent to property with existing single family home uses or property with a very low density (up to 1 unit per acre) or low density (2.5 to 7.5 units per acre) residential FLUM designation shall have a building setback to minimize impacts on adjacent properties. The building setback shall measure a minimum of ten (10) feet deep from the lower story building facade commencing above the third story to increase light and air movement and mitigate the effect of the increased height on the adjacent properties. At the discretion of the DCO, if setbacks are proposed beyond the minimum required, setbacks may be waived. See Figure 7-10.
- (ii) Additional setback requirements - Buildings exceeding 2-stories adjacent to property with a very low density residential FLUM designation (up to 1 unit per acre) shall have a fifty (50) foot setback in addition to the minimum required buffer for every story above the second story. For example: a 4-story building shall have a setback of at least one-hundred (100) feet in addition to the minimum required buffer from adjacent property with a very low density residential FLUM designation. Buildings exceeding 2-stories adjacent to property with existing single family home uses or property with a low density residential FLUM designation (2.5 to 7.5 units per acre) shall have a twenty (20) foot setback in addition to the minimum required buffer for every story above the second story. For example: a 4 story building shall have a setback of at least forty (40) feet in addition to the minimum required buffer from adjacent property with existing single family home uses or property with a low density residential FLUM designation. See Figure 7-10.

**SECTION 5.** That Table 10-4 contained in Section 10.5.2.C(2)a. of the Comprehensive Development Code is amended to read as follows:

**10.5.2 - Citywide Design Standards for Non-Residential and Multi-Family Residential Sites**

...

C. *Buffer landscape requirements*

...

(2) Types of site perimeter landscaping:

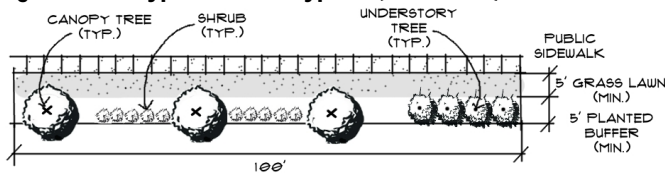
- a. Landscape buffers between parcels - Landscape buffers are required between parcels with different land use intensities. Table 10-3 and Table 10-4 provide specific standards:

Table 10-3: Minimum Buffer Standards				
Required Number of Plantings per 100 Feet				
Buffer Width	Canopy Trees	Understory Trees	Shrubs	Other Requirements
<b>Type A</b>				
10 feet	3	4	10	6' tall wall or fence
15 feet	2.4	3.2	8	6' tall wall or fence
20 feet	1.8	2.4	6	6' tall wall or fence
25 feet	1.2	1.6	4	6' tall wall or fence
<b>Type B</b>				
15 feet	4	6	12	6' tall wall or fence
20 feet	3.6	5.4	10.8	6' tall wall or fence
25 feet	3.2	4.8	9.6	6' tall wall or fence
30 feet	2.4	3.6	7.2	6' tall wall or fence
<b>Type C</b>				
30 feet	6	7.5	30	6' tall wall or fence
40 feet	4.8	6	24	6' tall wall or fence
50 feet	3.6	4.5	18	6' tall wall or fence
<b>Type D</b>				

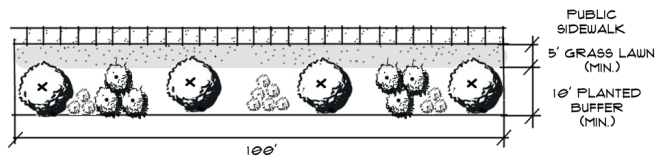
A Type D buffer is intended to have the same or greater planting requirements as Type C buffer; however, to ensure protection of natural resources, buffers adjacent to Preservation land use and some Water Drainage Feature areas shall be determined on a case-by-case basis in conjunction with the requirements established for conservation and maintenance easements as provided in the stormwater management standards, of the CDC.

Table 10-4: Landscape Buffer Types by Use and Location																		
Land Use of Proposed Development	Adjacent Land Use																	
	Residential (1 U/A or less)	Residential (2.5 to 10 U/A)	Residential (Over 10 U/A)	Public/Institutional	Care/Rehab Facility	Transportation/Utility	Recreation/Open Space	Preservation	Residential/Office Limited	Residential/Office General	Residential/Office Retail	Commercial Neighborhood	Commercial General, Light	Commercial General, Heavy	Industrial Limited	Industrial General	Right-of-way Arterial	Right-of-way Collector/Local
Multifamily	C	B	A	A	A	A	A	D	A	A	B	A	A	A	A	A	B	A
Public/Institutional	C	B	A	N	A	A	A	D	A	A	A	A	A	B	B	B	B	A
Care/Rehab Facility	B	A	B	A	N	A	A	D	A	A	B	A	A	B	B	B	B	A
Transportation/Utility	C	C	C	C	C	N	C	D	A	C	A	A	C	A	A	N	B	A
Recreation/Open Space	C	B	A	A	A	A	N	D	A	A	A	A	A	A	A	A	B	A
Preservation	D	D	D	D	D	D	D	N	D	D	D	D	D	D	D	D	B	A
Residential/Office Limited	B	A	A	A	A	A	A	D	N	A	A	A	A	A	A	A	B	A
Residential/Office General	C	B	A	A	A	A	A	D	A	N	A	A	A	A	A	A	B	A
Residential/Office Retail	C	B	B	A	B	A	A	D	A	A	N	A	A	A	A	A	B	A
Commercial Neighborhood	B	A	A	A	A	A	A	D	A	A	A	N	A	A	A	A	B	A
Commercial General, Light	C	B	B	A	B	A	A	D	A	B	A	A	N	N	A	A	B	A
Commercial General, Heavy	C	C	C	C	C	A	A	D	A	B	A	A	N	N	A	A	B	A
Industrial Limited	C	C	C	B	C	A	B	D	A	B	A	A	B	A	N	A	B	A
Industrial General	C	C	C	C	C	A	C	D	A	C	A	A	C	B	B	N	B	A

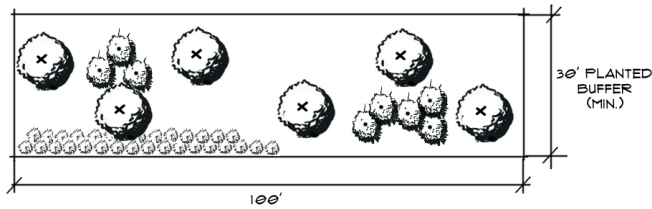
**Figure 10-1: Type A Buffer Typical (Streetside)**



**Figure 10-2: Type B Buffer Typical (Streetside)**



**Figure 10-3: Type C Buffer**



**SECTION 6.** That all ordinances or parts thereof inconsistent herewith are hereby repealed and superseded.

**SECTION 7.** That it is the intention of the Largo City Commission that each provision hereof be considered severable, and, if any section, subsection, sentence, or provision of this ordinance is held invalid, the remainder of the ordinance shall not be affected.

**SECTION 8.** That this ordinance shall become effective immediately upon its final passage and adoption.

APPROVED ON FIRST READING \_\_\_\_\_

PASSED AND ADOPTED ON  
SECOND AND FINAL READING \_\_\_\_\_

CITY OF LARGO, FLORIDA

\_\_\_\_\_  
Louis ("Woody") L. Brown, Mayor

REVIEWED AND APPROVED:

ATTEST:

\_\_\_\_\_  
Alan S. Zimmet, City Attorney

\_\_\_\_\_  
Diane Bruner, City Clerk