

**ORDINANCE NO. 3082**

**AN ORDINANCE AUTHORIZING A SPECIFIC USE PERMIT (SUP) TO PERMIT AN ACCESSORY BUILDING +700 SQ FT USE WITHIN A SINGLE FAMILY-2 (SF-2) ZONING DISTRICT, LOCATED AT 607 W MARVIN AVENUE, BEING PROPERTY ID 171941, IN THE CITY OF WAXAHACHIE, ELLIS COUNTY, TEXAS, BEING IN 2 1 354A 304 AND 43A FERRIS OF THE WAXAHACHIE TOWN ADDITION, AND ORDERING THE CHANGING OF THE ZONING MAP THEREOF IN ACCORDANCE WITH SAID CHANGE.**

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WAXAHACHIE, TEXAS:

**WHEREAS**, the City Council of the City of Waxahachie having heretofore adopted a zoning ordinance and map showing the classification of the various property located within the city limits of said City; and

**WHEREAS**, the described property is classified in said ordinance and any amendments thereto as SF-2; and

**WHEREAS**, a proper application for an SUP has been made in accordance with the zoning ordinances in the City of Waxahachie and said application has been assigned case number SU-18-0206. Said application having been referred to the Planning and Zoning (P&Z) Commission was recommended by the P&Z Commission for approval and the issuance thereof; and

**WHEREAS**, proper notification has been published for the time and in the manner as prescribed by the city ordinance of the City of Waxahachie for a public hearing thereon; and,

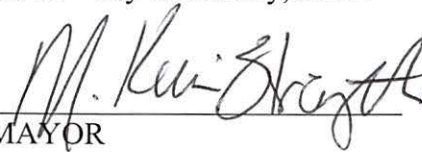
**WHEREAS**, a proper hearing was held as required by law and the Council having heard all arguments for and against said SUP;

**NOW, THEREFORE**, this property is rezoned from SF-2 to SF-2, with an SUP in order to permit an Accessory Building (residential), greater than 700 square feet use on the following property: 2 1 354A 304 and 43A Ferris of the Waxahachie Town Addition, which is shown on Exhibit A, in accordance with the Site Layout Plan and Elevations attached as Exhibit B.

An emergency is declared to exist in that needed and approved improvements will be unnecessarily delayed if this ordinance is not effective upon passage and this ordinance is to be effective upon passage.

The zoning map of the City of Waxahachie is hereby authorized and directed to be demarked in accordance therewith.

**PASSED, APPROVED AND ADOPTED** on this 22<sup>nd</sup> day of January, 2019.

  
MAYOR

ATTEST:

  
City Secretary







**Exhibit A - Location Exhibit**



**SU-18-0206 607 W Marvin  
Accessory Building +700SF  
Location Exhibit**

**Legend**



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries. This product has been produced by the City of Waxahachie for the sole purpose of geographic reference. No warranty is made by the City of Waxahachie regarding specific accuracy or completeness.



28'-0"

28'-0"

28'-0"

28'-0"

10000

WEST MARVIN AVE.

10000 SQ. FT.

BANK OF AMERICA

PARKING LOT

10000

**SITE PLAN**  
DEED PART OF BLOCKS 304 & 354A & BLOCK 45 PERRY'S ADDN  
CITY OF MAXAMACHIE  
ELLIS COUNTY, TEXAS



- 1 ALL CONTRACTOR SHALL COMPLY WITH APPLICABLE BUILDING CODES AND RELATED AMENDMENTS AND ANY OTHER LAWS, ORDINANCES, REGULATIONS OR ANY OTHER BODY HAVING JURISDICTION OVER THE PROJECT.
- 2 CONTRACTOR SHALL USE ITS BEST EFFORTS, SKILLS, JUDGMENT, AND CARE TO DESIGN, CONSTRUCT, AND COMPLY WITH THE DESIGN, AND FURTHER THE INTERESTS OF THE OWNER IN ACCORDANCE WITH THE VARIOUS PERFORMANCE CRITERIA, REQUIREMENTS, AND SPECIFICATIONS OF CONSTRUCTION. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE DESIGN, MEANS, METHODS, TECHNIQUES, SEQUENCES, AND LOGISTICS REQUIRED FOR BASE ERECTION AND COMPLETION OF MORE.
- 3 ANY ERRORS, OMISSIONS AND DISCREPANCIES IN DRAWINGS, OR AMBIGUITIES BETWEEN DRAWINGS AND SITE CONSTRUCTION CONDITIONS SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. IN THE EVENT OF THE OWNER FAILURE TO NOTIFY THE OWNER AND THE ARCHITECT IN EACH OF THESE CASES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE OMISSION OR DISCREPANCIES WITH REGARD TO DELAYS, COSTS AND LEGAL.
- 4 CIVIL, STRUCTURAL, MECHANICAL, & LANDSCAPE DRAWINGS ARE PROVIDED BY THE OWNER, FOR OTHERS AS AUTHORIZED BY THE OWNER.
- 5 CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AN ACCURATE SURVEY ON THE FOUNDATION FOOTINGS AFTER IT IS ERECTED AND TO THE POURING OF CONCRETE. INITIAL CERTIFICATES THAT THE SITE IS WITHIN THE ALLOWED BUILDING AREA FOR THE PROJECT. PROVIDE ONE COPY EACH TO THE OWNER AND ARCHITECT.
- 6 EXACT SIZE AND REINFORCEMENT OF ALL CONCRETE WORK SHALL BE AS NOTED ON THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL REPORT PROVIDED FOR THE OWNER AND ACCEPTABLE PRACTICES OF CONSTRUCTION.
- 7 HOOD SUEL SHALL BE 24"X36" X 10" O.C. TO MAXIMUM HEIGHT OF 10 FEET WITH ONE (1) PULL DOWN HOOD. THE HOOD SHALL BE CONSIDERED EXCEEDING 10 FEET REEDED STRUCTURAL ANALYSIS TO DETERMINE SIZE AND SPACING OF REINFORCEMENT. PLAN ANGLE AND 90 OR 45 DEGREES UNLESS NOTED OTHERWISE.
- 8 CONTRACTOR SHALL SIZE ELECTRICAL SYSTEM ALONG WITH LOCAL CODE REQUIREMENTS.
- 9 ALL APPLIANCE, PLUMBING AND LIGHTING FIXTURES NOT SPECIFIED IN THE DRAWINGS SHALL BE PROVIDED BY THE OWNER FOR APPROVAL PRIOR TO PURCHASING AND INSTALLATION.
- 10 CONTRACTOR SHALL SIZE HEATING AND COOLING LOADS TO COMPLY WITH LOCAL CODES, CLIMATIC CONDITIONS, AND BUILDING DESIGN.
- 11 CONTRACTOR SHALL VERIFY WITH OWNER ALL INTERIOR AND EXTERIOR FINISHES PRIOR TO PURCHASE AND INSTALLATION.
- 12 LOCATION OF THE HVAC UNITS DETERMINED BY OTHERS. SUBMIT PROPOSED LOCATIONS TO OWNER FOR REVIEW AND APPROVAL.
- 13 ATTIC AND GARAGE/SPACE OF ANY VENTILATION SHALL COMPLY WITH LOCAL CODES.
- 14 VENT COBBLES DRYER AND ALL KITCHEN AND BATHROOM EXHAUST FANS OR EXHAUST.

- 1 DO NOT SCALE THE DRAWINGS. CONTACT ARCHITECT IF NECESSARY  
TO DETERMINE ANY DIMENSIONS THAT ARE NOT INDICATED.
- 2 CONTINUE TO MAINTAIN VERTICAL DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- 3 ALL DIMENSIONS ARE TO FINISH FACE OF WALL, OR TO FACE OF HATCHED MATERIAL WHEN NOTED OTHERWISE.
- 4 ALL DIMENSIONS TO FACE UNLESS SPECIFICALLY NOTED OTHERWISE AS FOLLOWS:  
#1 WITH 3/4" BACK STUDS, #1 WITH 3/4" BACK STUDS, #15 WITH 3/4" BACK STUDS, #16 WITH 3/4" BACK STUDS
- 5 REFER TO EXTERIOR ELEVATIONS, BUILDING SECTIONS, WALL SECTIONS AND/OR FLOOR PLANS TO DETERMINE WALL PLATE HEIGHTS.
- 6 REFER TO EXTERIOR ELEVATIONS, FLOOR PLAN ANNOTATION, WINDOW SCHEDULES AND WINDOW SIZES TO DETERMINE WINDOW HEADS.
- 7 REFER TO FLOOR PLANS OR ROOM/FINISH SCHEDULE IF PROVIDED FOR CEILING HEIGHTS.
- 8 ALL FLOOR FINISH HEIGHTS INCLUDE FLOORING CHANGES, SLAB MATCHES, STAIRS, TERRAZZOS, ALL FLOORS, IF ANY, IS TO THE TOP OF 1" UDF THICK 1/8" PLYWOOD SUB-FLOORING.
- 9 REFER TO ELEVATIONS FOR ROOFS TO BE AWAITED. MID-ROOF FINISH ELEVATIONS SHALL BE USED FOR ROOF FINISH ELEVATIONS.

EXT. WALL AREA (A.C. WALLS ONLY)	N/A
INDOOR AREA (A.C. AREA) AREA ONLY	N/A
EXTERIOR DOOR AREA (A.C. GREATER THAN 50% BLAZING)	N/A
INDOOR - DOOR BLAZING AREA (A.C. GREATER THAN 50% BLAZING)	N/A
PERCENT OF BLAZING AREA (A.C. GREATER THAN 50% BLAZING)	N/A
VENTILATION FACTOR (MAX)	0.50
SKYLIGHT FACTOR (MAX)	0.65
BLAZING SHED (MAX)	0.50
ENERGY CODE CLIMATE ZONE 3	
MIN R-VALUE 6 WALLS DATTIN	R-4
MIN R-VALUE 6 CEILING (ATTIC)	R-50
MIN R-VALUE 6 FLOOR OVER AIR CAV. SPACES	R-4
MIN R-VALUE 6 GRAVEL SPACE WALL (WHERE APPLICABLE)	R-4
COOLING EFFICIENCY	16 SEER
DOOL INSULATION VALUE IN UNCONDITIONED SPACES	R-5

DULDER.	DAVID HILL CONSTRUCTION DAVID HILL 71 FERRIS AVENUE MAKAMACHINE, TEXAS 75165 TEL. 412-432-2244
DESMAYER.	PARADISE RESIDENTIAL DESIGN EDWARD J. CASAPAR P.O. BOX 462, 300 ROCK HARBOR CT GRANDPRAIRIE, TEXAS 76048 TEL. TH-650-8838 / TH-650-8805
BUILDING INSPECTION	DULDER INSPECTOR P.O. BOX 100

THE PROJECT LOCATION IS:  
807 EAST MARVIN, ELLIS COUNTY, MAXAMACHE, TEXAS 75065

ZONING DISTRICT, PER  
FRONT YARD SETBACK  
SIDEYARD SETBACK (DEEPER SETBACK ADJACENT TO STREET)  
REAR YARD SETBACK  
GARAGE SETBACK (MIN TO PROPERTY LINE)  
MAXIMUM BUILDING HEIGHT  
MAXIMUM RIDGE HEIGHT  
MAXIMUM ALLOWABLE LOT COVERAGE  
ACTUAL LOT SIZE  
ALLOWABLE LOT COVERAGE  
ACTUAL LOT COVERAGE  
FIRE SPRINKLERS ARE REQUIRED IF TOTAL ROOFED AREA EXCEEDS

[illegible]

NOTE: ALL AREA CALCULATIONS ARE PROVIDED FOR REFERENCE PURPOSES ONLY. ALL TRADES SHOULD PERFORM THEIR OWN CALCULATIONS FOR THE PURPOSE OF ORDERING MATERIAL. THESE CALCULATIONS ARE MEASURED TO THE OUTSIDE OF FACE OF MASONRY. REFER TO FLOOR PLAN SHEETS FOR FRAMING AREAS.

[illegible]

1.01 SITE PLAN + GENERAL NOTES

2.01 DIMENSION CONTROL PLAN, FLOOR PLAN, ELEVATIONS, ELECTRICAL PLAN

BEING PART OF BLOCKS 504 & 334A & BLOCK 43 PERRIS ADDN.  
807 EAST MARVIN  
CITY OF MAXAHACHIE, ELLIS COUNTY, TEXAS

1.741 ACREAS

**SU-18-0206**

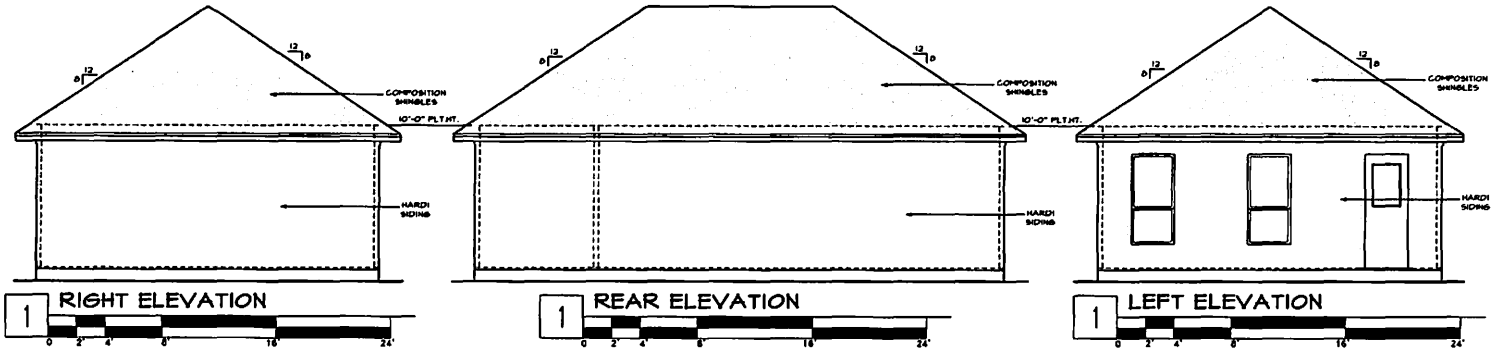
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PARAGON  
PRESIDENTIAL  
DESIGN, INC.  
DENVER, COLORADO - 718-86-0836








































**A New Single Family Garage for,  
DAVID HILL CONSTRUCTION  
607 E. MARVIN  
WAXAHACHIE, TEXAS 75165**

SHEET  
1.01  
1 OF 2  
18046

## Elevations



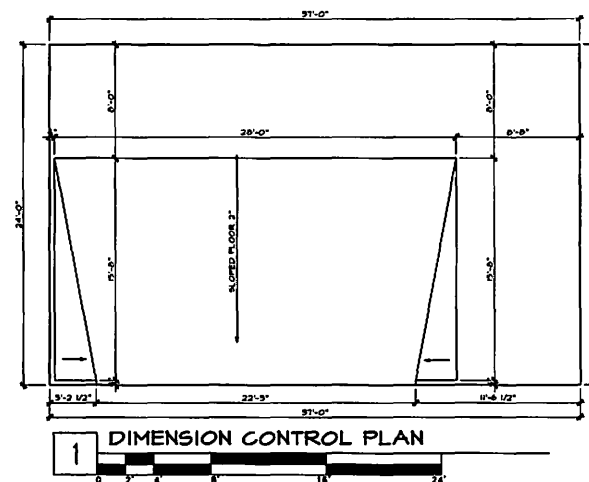
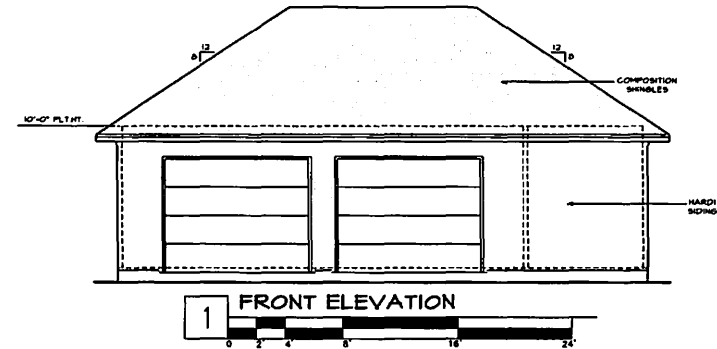
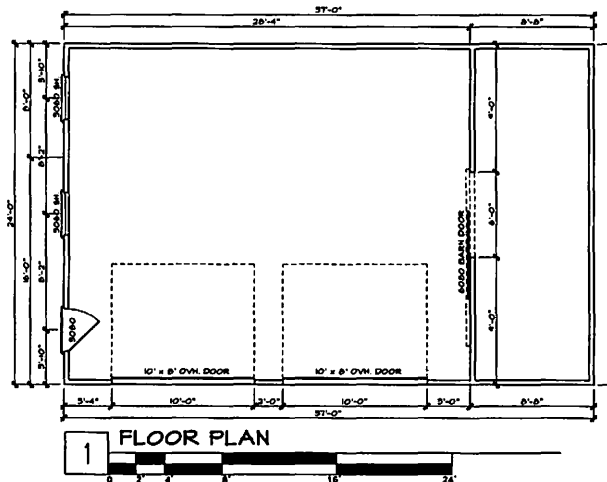
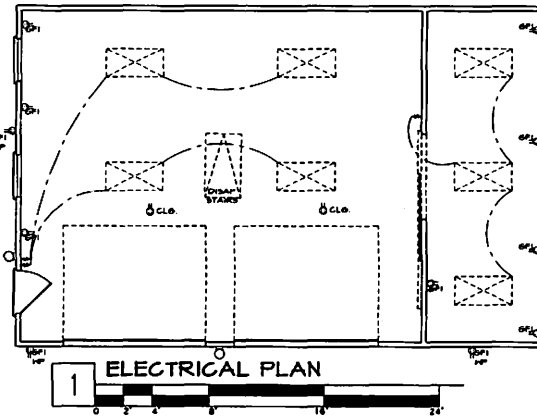
### ELECTRICAL LEGEND

-  10 VOLT RECEPTACLE  
 HWP WATERPROOF RECEPTACLE  
 C.L.B. NO VOLT IN C.B.S.  
 BPI NO VOLT IN GROUND FAULT INTERRUPTOR  
 P.L.R. NO VOLT IN FLOOR  
 220 VOLT RECEPTACLE  
 TELEVISION ANTENNA  
 TELEPHONE OUTLET  
 SINGLE POLE SWITCH  
 THREE WAY SWITCH  
 FOUR WAY SWITCH  
 DINER SWITCH  
 PUSH BUTTON  
 B.S.D. SMOKE DETECTOR  
 CARBON MONOXIDE DETECTOR  
 THERMOSTAT  
 SECURITY KEY PAD  
 CURTAINS  
 CEILING MOUNTED LIGHT FIXTURE  
 HANGING LIGHT  
 RECESSED CAN LIGHT  
 LOW VOLTAGE RECESSED CAN LIGHT  
 HWP WATERPROOF RECESSED CAN LIGHT  
 RECESSED EGGSHALL SPOT LIGHT  
 HALL MOUNTED LIGHT FIXTURE  
 PORCELAIN FIXTURE W/ ROLL CORD  
 FLOOD LIGHTS  
 EXHAUST FAN  
 EXHAUST FAN W/ LIGHT  
 EXHAUST FAN W/ HEAT LAMP  
 EXHAUST FAN W/ HEAT LAMP & LT.  
 SPEAKER - SEE OWNER FOR LOCATION  
 CAT & ETHERNET HALL OUTLET  
 CEILING FAN  
 CEILING FAN W/ LIGHT  
 CEILING LIGHT W/ FUTURE PAN  
 3"x4" FLUORESCENT LIGHT  
 1"x4" FLUORESCENT LIGHT  
 UNDER CABINET LIGHT

### ELECTRICAL NOTES

UNLESS OTHERWISE NOTED

- 1) SWITCHES TO ATTIC LIGHTS TO BE MOUNTED NEAR CEILING.
- 2) PROVIDE 15 AMP SERVICE FOR EACH AIR HANDLER IN ATTIC.
- 3) PROVIDE 60 AMP SERVICE FOR EACH A/C UNIT.
- 4) PROVIDE 30 AMP SERVICE FOR SEPTIC SYSTEM.

[illegible]

PARAGON  
RESIDENTIAL  
DESIGN, LLC.

**A New Single Family Garage for:**  
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607 E. MARVIN  
WAXAHACHIE, TX. 75165

SHEET  
2.01  
2 OF 2  
18046