

ORDINANCE NO. 2992

AN ORDINANCE AUTHORIZING A ZONING CHANGE FROM SINGLE FAMILY-2 (SF-2) TO PLANNED DEVELOPMENT-SINGLE FAMILY- (PD-SF-2), WITH CONCEPT PLAN LOCATED AT 631 SOLON ROAD IN THE CITY OF WAXAHACHIE, ELLIS COUNTY, TEXAS, BEING 23.948 ACRES KNOWN AS PROPERTY ID 220963 OF THE SOLON ROAD ELEMENTARY SUBDIVISION, AND ORDERING THE CHANGING OF THE ZONING MAP THEREOF IN ACCORDANCE WITH SAID CHANGE.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WAXAHACHIE, TEXAS:

WHEREAS, the City Council of the City of Waxahachie having heretofore adopted a zoning ordinance and map showing the classification of the various property located within the city limits of said City; and

WHEREAS, a proper application for a PD, with Concept Plan has been made in accordance with the zoning ordinances in the City of Waxahachie and said application has been assigned case number PD-17-0154. Said application, having been referred to the Planning and Zoning (P&Z) Commission for their final report, was recommended by the P&Z Commission for zoning change approval of the subject property from SF-2 to PD-SF-2, with Concept Plan; and

WHEREAS, proper notification has been published for the time and in the manner as prescribed by the city ordinance of the City of Waxahachie for a public hearing thereon; and

WHEREAS, a proper hearing was held as required by law and the Council having heard all arguments for and against said zoning amendment;

NOW, THEREFORE, this property is rezoned from SF-2 to PD-SF-2, with Concept Plan in order to facilitate development of the subject property in a manner that allows the construction of office space and a warehouse for the Waxahachie Independent School District on the following property: Property ID 220963 of the Solon Road Elementary subdivision, which is shown on Exhibit A, in accordance with the Concept Plan provisions attached as Exhibit B, the revised site plan attached as Exhibit C, the conceptual elevation plan attached as Exhibit D, and the floor plan attached as Exhibit E.

An emergency is declared to exist in that needed and approved improvements will be unnecessarily delayed if this ordinance is not effective upon passage and this ordinance is to be effective upon passage.

The zoning map of the City of Waxahachie is hereby authorized and directed to be demarked in accordance therewith.

PASSED, APPROVED, AND ADOPTED on this 18th day of December, 2017.

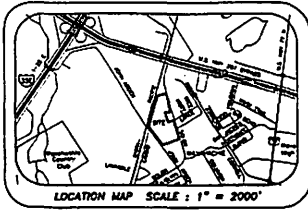


M. Kevin Struyth
MAYOR

ATTEST:

Rori Cartwright
City Secretary

BENCHMARK:
RAILROAD SPIKE, SOLON
ROAD AT RAILROAD TRACKS
ELEV.=645.81



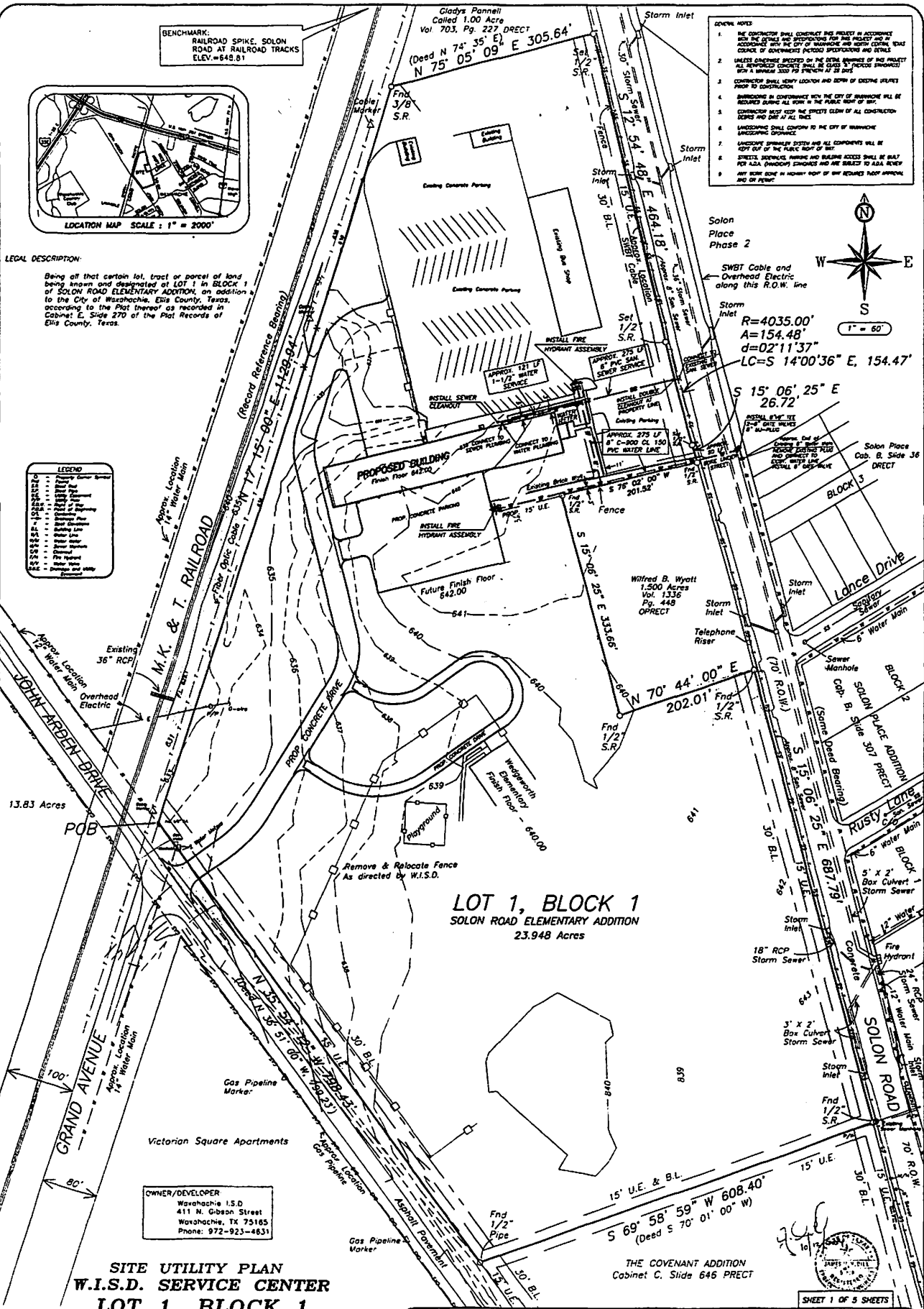
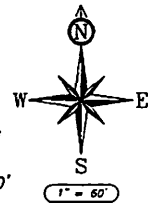
LEGAL DESCRIPTION:

Being all that certain lot, tract or parcel of land being known and designated as LOT 1 in BLOCK 1 of SOLON ROAD ELEMENTARY ADDITION, an addition to the City of Waxahachie, Ellis County, Texas, according to the Plat thereof as recorded in Cabinet E, Slide 270 of the Plat Records of Ellis County, Texas.

LEGEND

SYMBOL	DESCRIPTION
---	Proposed Right of Way
---	Proposed Concrete Drive
---	Proposed Concrete Parking
---	Proposed Concrete Footing
---	Proposed Concrete Foundation
---	Proposed Concrete Wall
---	Proposed Concrete Slab
---	Proposed Concrete Floor
---	Proposed Concrete Ceiling
---	Proposed Concrete Roof
---	Proposed Concrete Foundation
---	Proposed Concrete Wall
---	Proposed Concrete Slab
---	Proposed Concrete Floor
---	Proposed Concrete Ceiling
---	Proposed Concrete Roof

- GENERAL NOTES
1. THE CONTRACTOR SHALL CONSTRUCT THIS PROJECT IN ACCORDANCE WITH THE DETAILS AND SPECIFICATIONS FOR THIS PROJECT AND AS APPROVED BY THE CITY OF WAXAHACHIE AND THE COUNTY ENGINEER.
 2. UNLESS OTHERWISE SPECIFIED ON THE DETAILS OR SPECIFICATIONS, ALL MATERIALS AND METHODS SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, AS PUBLISHED BY THE TEXAS DEPARTMENT OF TRANSPORTATION.
 3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 4. THE CONTRACTOR SHALL MAINTAIN THE EXISTING ELEVATION OF ALL EXISTING STRUCTURES AND DRAINAGE AT ALL TIMES.
 5. THE CONTRACTOR SHALL MAINTAIN THE EXISTING ELEVATION OF ALL EXISTING STRUCTURES AND DRAINAGE AT ALL TIMES.
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 9. THE CONTRACTOR SHALL MAINTAIN THE EXISTING ELEVATION OF ALL EXISTING STRUCTURES AND DRAINAGE AT ALL TIMES.



SITE UTILITY PLAN
W.I.S.D. SERVICE CENTER
LOT 1, BLOCK 1
SOLON ROAD
ELEMENTARY ADDITION
City of Waxahachie
Ellis County, Texas

OWNER/DEVELOPER
Waxahachie I.S.D.
411 N. Gibson Street
Waxahachie, TX 75165
Phone: 972-923-4831

ENGINEERS
D&M
SURVEYORS

DAVIS & McDILL, Inc.
P.O. BOX 428, Waxahachie, Texas 75168
Phone: Metro 972-938-1185 Fax: 972-937-0307

SHEET 1 OF 5 SHEETS
Date: 10-07-2004
Scale: 1" = 60'
Drawn: J.M./K.B.
Job: 204-0879UT

Exhibit B

Concept Plan Provisions

The purpose and intent of this Planned Development is to build a support services warehouse and office space. This warehouse will store various equipment and goods used for repairs and preventative maintenance for school facilities. Many of these repairs will take place in this building. Any conditions found within the Single Family -2 zoning district or Zoning Ordinance that are not written herein shall default to the City of Waxahachie's Code of Ordinances, as amended.

Compliance with the City's Comprehensive Plan

Zoning District Single Family – 2 is the intended base zoning classification underlying this PD. The SF-2, Single-family Residential District - 2 is intended to provide for development of primarily detached, single-family residences on lots of not less than twelve thousand five hundred (12,500) square feet. Other uses, such as religious, educational facilities and recreational facilities are allowed if properly designed so as to not impact the primary uses of this district in an adverse manner.

PD District Development Standards

Description of Request – This request is to allow a warehouse and office space to be built on School District land.

Proposed Use of Property – This property will be used to as a support services building that will house tools and goods to allow maintenance of school district facilities. It will house a welding shop, storage, paint booth, and warehouse space.

General Development Requirements

Roof Pitch – roof pitch of 2:12

Side yard setback five (5') feet

Masonry wainscoting of 40"

CONTRACTOR SHALL VERIFY ALL
DIMENSIONS AND LOCATIONS
AT THE JOB SITE AND NOTIFY
THE ARCHITECT OF ANY
DISCREPANCIES BEFORE
PROCEEDING WITH CONSTRUCTION.
DO NOT SCALE DRAWINGS.

Waxahachie I.S.D.
WAXAHACHIE, TEXAS 75165

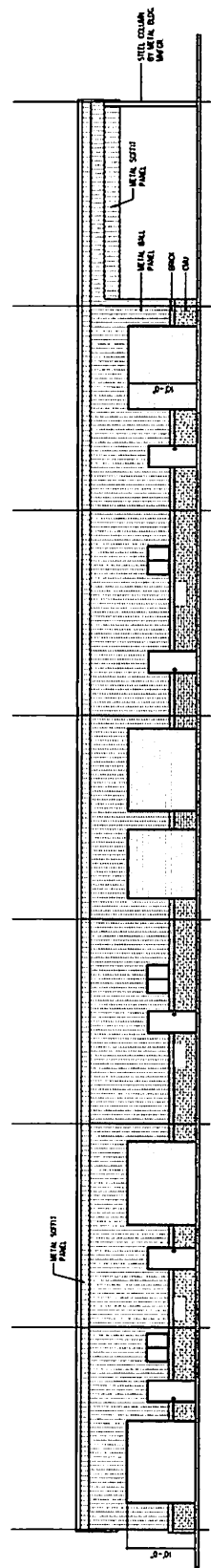
A NEW SERVICE CENTER FOR :



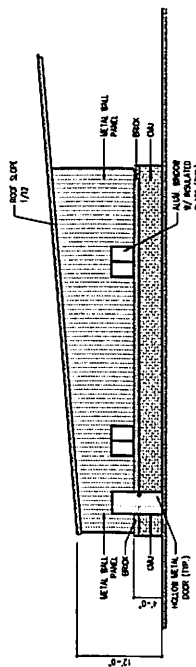
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JOB NUMBER
WED-11157
DATE OF ORIGINAL ISSUE
1/20/11

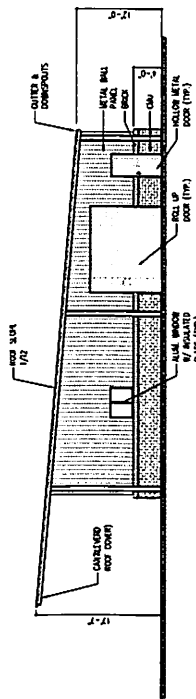
SHEET NUMBER
A2



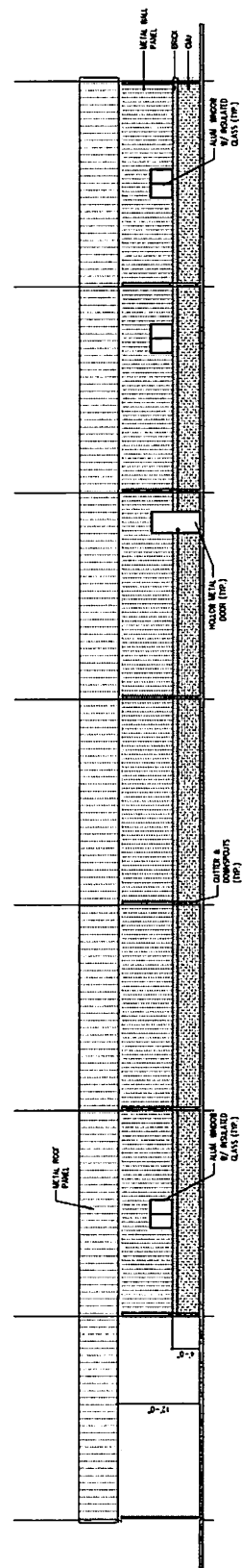
1 WEST ELEVATION
1/8" = 1'-0"



3 NORTH ELEVATION
1/8" = 1'-0"

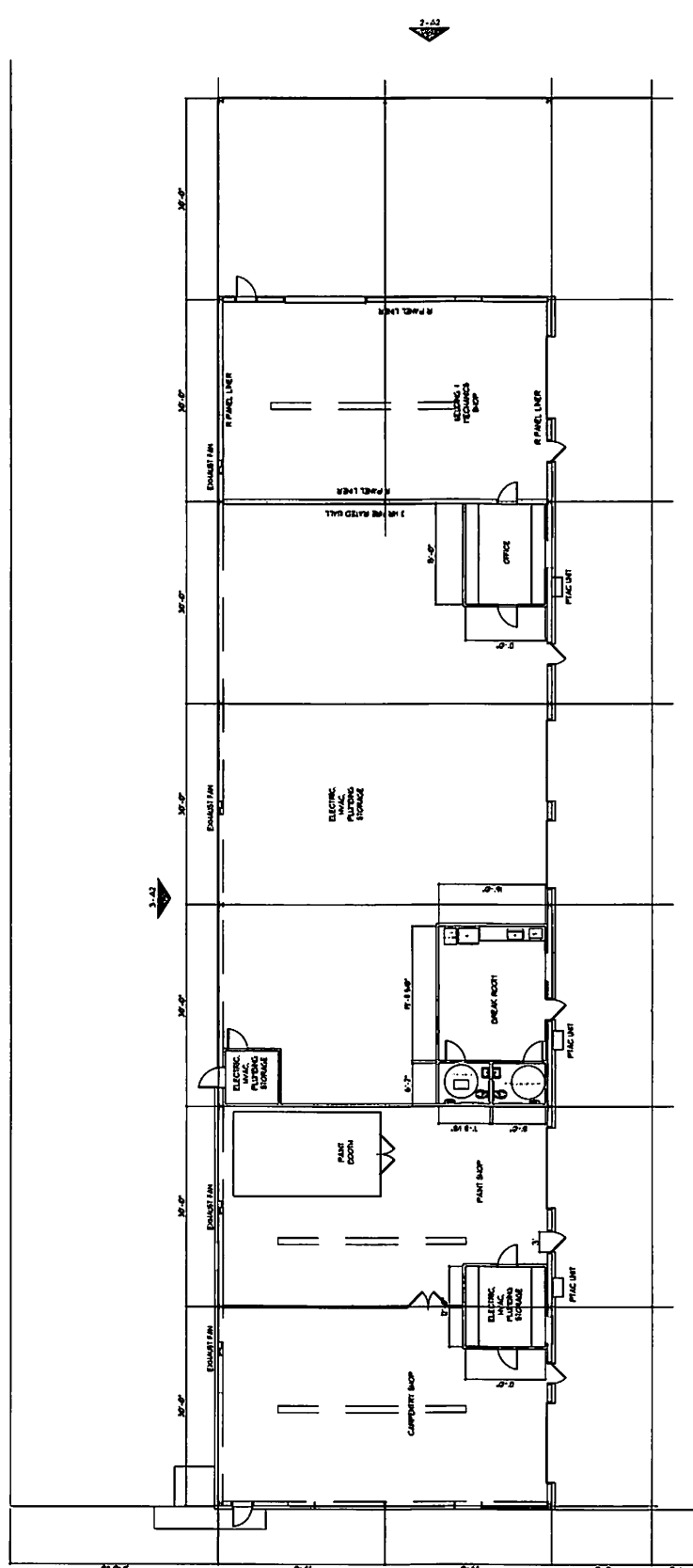


2 SOUTH ELEVATION
1/8" = 1'-0"



4 EAST ELEVATION
1/8" = 1'-0"

D



1 FLOOR PLAN
1/8" = 1'-0"