

## **ORDINANCE NO. 2914**

**AN ORDINANCE AUTHORIZING A ZONING AMENDMENT FROM SINGLE FAMILY DWELLING-2 (SF2) TO A FREESTANDING PLANNED DEVELOPMENT (PD), WITH CONCEPT PLAN APPENDIX LOCATED EAST OF THE EXISTING NORTH GROVE PLANNED DEVELOPMENT, AT PROPERTY ID 179059 IN THE CITY OF WAXAHACHIE, ELLIS COUNTY, TEXAS, BEING 38.358 ACRES WITHIN THE 5 J B & A ADAMS, 83 J BILLINGSLY, 1182 JW WRIGHT ABSTRACTS, AND ORDERING THE CHANGING OF THE ZONING MAP THEREOF IN ACCORDANCE WITH SAID CHANGE.**

**BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WAXAHACHIE, TEXAS:**

**WHEREAS**, the City Council of the City of Waxahachie having heretofore adopted a zoning ordinance and map showing the classification of the various property located within the city limits of said City; and

**WHEREAS**, a proper application for a PD, with Concept Plan Appendix has been made in accordance with the zoning ordinances in the City of Waxahachie and said application has been assigned case number ZA2016-68. Said application, having been referred to the Planning and Zoning (P&Z) Commission for their final report, was recommended by the P&Z Commission for denial and appealed to the City Council for approval of the subject property from SF2 to a Freestanding Planned Development (PD), with Concept Plan Appendix; and

**WHEREAS**, proper notification has been published for the time and in the manner as prescribed by the city ordinance of the City of Waxahachie for a public hearing thereon; and

**WHEREAS**, a proper hearing was held as required by law and the Council having heard all arguments for and against said zoning amendment;

**NOW, THEREFORE**, this property is rezoned from SF2 to a Freestanding Planned Development (PD), with Concept Plan Appendix in order to facilitate development of the subject property in accordance with the North Grove Planned Development that was approved under City Ordinance 2733, as amended by City Ordinance 2841 and City Ordinance 2870 on the following property: Property ID 179059, being 38.358 acres within the 5 J B & A ADAMS, 83 J BILLINGSLY, 1182 JW WRIGHT surveys, which is shown on Exhibit A, in accordance with the Concept Plan Appendix provisions attached as Exhibit B.

An emergency is declared to exist in that needed and approved improvements will be unnecessarily delayed if this ordinance is not effective upon passage and this ordinance is to be effective upon passage.

The zoning map of the City of Waxahachie is hereby authorized and directed to be demarked in accordance therewith.

**PASSED, APPROVED AND ADOPTED** on this 17<sup>th</sup> day of January, 2017.

  
M. Ken Hov  
MAYOR

ATTEST:

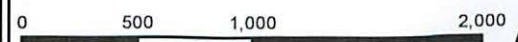
Roni Saunders  
City Secretary





EXHIBIT "A"

# Location Map The Preserve at North Grove PD





## **APPENDIX A: THE PRESERVE AT NORTH GROVE**

### **Purpose:**

To incorporate an additional 38.547 acres of land into the existing North Grove Planned Development.

This is shown on the approved Development Plan for North Grove as portions of Phase 10 and all of Phase 11.

The 60' lot (Township Lot) portion shown within Phase 10 will follow all of the Development Standards for the Planned Development for North Grove as approved in Ordinance Number 2733 for the City of Waxahachie and subsequent Ordinances that may pertain. The 50' lots (Cottage Lots) within Phase 10 and all of Phase 11 will follow the Regulations listed below.

### **Area and Height Regulations – 50' lots (Cottage Lot) The Preserve at North Grove**

Lot Classification: C (high)

Minimum Lot Area: 5,000 square feet

Minimum Lot Width: 50'

Minimum Lot Depth: 100'

Alley Access: No

Minimum Principal Building Front Setback: 20'

Porch Setback: 15'

Minimum Side Yard Setback: 5'

Minimum Street Side Yard Setback: 10'

Minimum Rear Yard Setback: 10'

Minimum Floor Areas: 1,800 square feet

Maximum Structure Height: 35'

Maximum Lot Coverage: 75%

Architectural design elements not listed above will be incorporated within the existing Ordinance and will remain consistent with the Single-Family products within the North Grove Planned Development District

EXHIBIT "B"