

LDCT-22-16/ORDINANCE 22-72
COUNTY INITIATED LAND DEVELOPMENT CODE TEXT AMENDMENT
SETBACKS PLN2206-0012

AN ORDINANCE OF THE BOARD OF COUNTY COMMISSIONERS MANATEE COUNTY, FLORIDA AMENDING THE MANATEE COUNTY LAND DEVELOPMENT CODE; PROVIDING FOR PURPOSE AND INTENT; PROVIDING FINDINGS; AMENDING THE LAND DEVELOPMENT CODE BY AMENDING CHAPTER 2, SECTION 200, DEFINITIONS MODIFYING THE DEFINITION OF "SETBACK," AND DELETING THE DEFINITIONS FOR "SETBACK: FRONT, SIDE, REAR AND STREET;" AMENDING CHAPTER 4, SECTION 401.4. SCHEDULE OF AREA, HEIGHT, BULK AND PLACEMENT REGULATIONS, SPECIFICALLY TABLES 4-4, 4-5, 4-6, 4-8, & 4-11, SECTION 402.7.D., PDR STANDARDS, SECTION 545, HOUSING PROGRAM, TABLE 5-7, ADDING THE ABILITY TO ADMINISTRATIVELY REDUCE THE FRONT YARD SETBACK BY 5 FEET, PROVIDED CERTAIN CRITERIA ARE MET; EXCEPT TABLES 4-4, 4-8, & 4-11, CONCURRENT WITH THE AFOREMENTIONED TABLES AND AMENDMENT, ALSO AMENDING TABLE 4-7, SECTION 402.7.D., PDR STANDARDS, CHAPTER 5, TABLE 5-7, SCHEDULE OF BULK AND DIMENSIONAL STANDARDS FOR SPECIFIC SINGLE-FAMILY RESIDENTIAL DISTRICTS, CHAPTER 8, SECTION 800.11.B.6.a, DIMENSIONAL STANDARDS, AND ADDING A NEW SUBSUBSECTION 5 TO SECTION 902.5.H, BUILDING DESIGN STANDARDS, MECHANICAL EQUIPMENT, REQUIRING A MINIMUM 10-FOOT SEPARATION BETWEEN ACCESSORY EQUIPMENT IN SIDE YARDS; PROVIDING FOR CODIFICATION; PROVIDING FOR APPLICABILITY; PROVIDING FOR SEVERABILITY; AND PROVIDING AN EFFECTIVE DATE.

BE IT ORDAINED by the Board of County Commissioners of Manatee County, Florida:

Section 1. Purpose and Intent. This Ordinance is enacted to carry out the purpose and intent of, and exercise the authority set out in, the Community Planning Act, Part II of Chapter 163, Florida Statutes, and Chapter 125, Florida Statutes, as amended.

Section 2. Findings. The Board of County Commissioners relies upon the following findings in the adoption of this Ordinance:

1. It is in the interest of the public health, safety and welfare to adopt the amendments to the Land Development Code set forth in this Ordinance to:

- Amend Section 401.4. Schedule of Area, Height, Bulk and Placement Regulations, specifically Tables 4-4, 4-5, 4-6, 4-8, and Section 402.7., Planned Development Residential, specifically 402.7.D, Table 5-7, Section

800.11.B.6, and Section 902.5.H to add the ability to reduce the front yard by 5 feet administratively, providing certain criteria are met.

- Amend Section 401.4. Schedule of Area, Height, Bulk and Placement Regulations, specifically Tables 4-5, 4-6, 4-7, 4-8, 4-11, Section 402.7., Planned Development Residential, specifically 402.7.D, Table 5-7, and Section 800.11.B.6, to require a minimum of 10 feet of separation between accessory equipment located within side yards.

2. The Manatee County Planning Commission has been duly designated in Section 301, Land Development Code as the Local Planning Agency of the County.

3. Section 163.3174(4)c, Florida Statutes, provides that the Local Planning Agency shall review proposed land development regulations and make recommendations to the governing body as to consistency of the proposed land development regulations with the adopted Comprehensive Plan.

4. Section 301.1.D., Land Development Code, authorizes the Planning Commission to hold public hearings and make recommendations as to proposed amendments to the text of the Land Development Code.

5. The Planning Commission acting its capacity as the Local Planning Agency, held a duly noticed and advertised public hearing on October 13, 2022, as to the proposed LDC Text Amendment and found it to be consistent with the Manatee County Comprehensive Plan and the standards for review in Section 341, Land Development Code and has recommended their adoption to the Board.

6. The Board held two (2) duly noticed and advertised public hearings on October 20, 2022, and November 3, 2022, to receive public comments and consider the recommendation of the Planning Commission as to the LDC Text Amendments.

7. The adoption of the LDC Text Amendments will foster and preserve the public health, safety and welfare and aid in the harmonious, orderly and progressive development of the County and thus will serve a valid public purpose.

Section 3. Amendments to Tables 4-4, 4-5, 4-6, 4-7, 4-8, 4-11, and Section 402.7.D. of the Land Development Code. Tables 4-4, 4-5, 4-6, 4-7, 4-8, 4-11, and Section 402.7.D. of the Land Development Code are hereby amended as set forth in Exhibit “A” of this Ordinance.

Section 4. Codification. The publisher of the County’s Land Development Code, the Municipal Code Corporation, is directed to incorporate the amendments in Section 3 of this Ordinance into the Land Development Code.

Section 5. Applicability. The amendments set forth in this Ordinance shall apply to all applications, decisions or controversies pending before the County upon the

effective date hereof or filed or initiated thereafter.

Section 6. Severability. If any section, sentence, clause, or other provision of this Ordinance shall be held to be invalid or unconstitutional by a court of competent jurisdiction, such invalidity or unconstitutionality shall not be construed as to render invalid or unconstitutional the remaining sections, sentences, clauses, or provisions of this Ordinance.

Section 7. Effective Date. This Ordinance shall become effective as provided by law.

PASSED AND DULY ADOPTED, with a quorum present and voting, by the Board of County Commissioners of Manatee County, Florida, this 3rd day of November 2022.

**BOARD OF COUNTY COMMISSIONERS
OF MANATEE COUNTY, FLORIDA**

By: _____
Kevin Van Ostenbridge, Chairperson

ATTEST: ANGELINA COLONNESO
Clerk of the Circuit Court and Comptroller

By: _____
Deputy Clerk

EXHIBIT “A”

Chapter 2 – DEFINITIONS

Section 200. – Definitions.

[...]

Setback shall mean the minimum horizontal distance between the primary structure and a right-of-way line, property line, bulkhead line, shoreline, seawall, mean high water line, access easement line, or other defined location, which depicts the beginning point of the buildable area. Setbacks shall meet the minimum setback requirements of Section 401.4, or as otherwise approved by the Board of County Commissioners or Hearing Officer.

- (1) *Front setback*: A setback that is measured from a front lot line.
- (2) *Rear setback*: A setback that is measured from a rear lot line.
- (3) *Side setback*: A setback that is measured from a side lot line.
- (4) *Street setback*: A setback that is measured from the right-of-way line.

[...]

Chapter 4 – ZONING

[...]

Section 401. - Standard Zoning Districts Established.

[...]

401.4. Schedule of Area, Height, Bulk and Placement Regulations.

[...]

Table 4-4: Schedule of Bulk and Dimensional Standards for Village Districts

	Village Myakka	Rubonia	Parrish1
DENSITY/INTENSITY			
Max. Residential Density ²	6.0	3.0	3.0
Max. Non-Residential FAR	0.23	0.23	0.23

Min. Open Space (%)	20	20	20
LOT STANDARDS			
Min. Lot Area (sq. ft.)			
Single Family Detached	10,000	6,000	10,000
Single Family Semi-Detached	6,000	6,000	6,000
Duplex	8,000	5,000	8,000
Single Family Attached (interior lot/corner lot)	2,400/3,600	2,400/3,600	2,400/3,600
Individual Mobile Homes	217,800	217,800	217,800
Non-residential	10,000	10,000	10,000
Min. Lot Width (ft.)³			
Single Family Detached	75	60	75
Single Family Semi-Detached	50	50	50
Duplex	120	100	120
Single Family Attached (interior lot/corner lot)	24/34	24/34	24/34
Individual Mobile Homes	200	200	200
Non-residential	100	100	100
Min. Unit Floor Area			
Residential	600	600	600
MINIMUM SETBACKS (ft.)			
Front			
Single-Family Detached	20/25 ⁴	20/25 ⁴	20/25 ⁴
All other residential	25	25	25
Non-residential	25	25	25
Side			
Residential	10	8	10
Non-residential ⁵	10	10	10
Rear			
Residential	20	20	20
Non-residential ⁵	15	15	15
Waterfront ⁶	30	30	30
BUILDING HEIGHT			
Maximum (ft.)	35	35	35

Notes:

Properties within an Overlay District must also comply with the standards of such district.

¹ For commercial properties in the Parrish Commercial Village Overlay District, also see Section 403.4. PCV—Parrish Commercial Village Overlay District.

² Shall not exceed three (3) units/acre if located within the velocity zone of the coastal high hazard area.

³ The minimum lot width for corner lots shall be not less than fifteen (15) percent wider on both front yards than required in the district, except where both front yards equal or exceed one hundred fifty (150) feet each in width.

⁴ Front-loaded carports and garages, detached or attached to a single-family dwelling, require a 25-foot front yard setback. The required front yard setback may be administratively reduced up to a maximum of 5 feet, provided an equivalent distance between the internal edge of the sidewalk to the front property line is available to ensure a 25-foot separation from the sidewalk to the garage.

⁵ Twenty-five (25) feet when abutting a residential land use.

⁶ Waterfront setbacks may be reduced by five (5) feet for platted lots of record. Mobile homes and recreational vehicles are exempt from this waterfront setback requirement.

Table 4-5: Schedule of Bulk and Dimensional Standards for Agricultural and Single Family Residential Districts¹

Agricultural			Single Family					
	A	A-1	RSF-1	RSF-2	RSF-3	RSF-4.5	RSF-6	RSF-9
DENSITY/INTENSITY								
Max. Residential Density ²								
	Per FLUC							
Max. Non-Residential FAR	0.23	0.23	0.23	0.23	0.23	0.35	0.35	0.35
Min. Open Space (%)	20	20	20	20	20	20	20	20
LOT STANDARDS								
Min. Lot Area (sq. ft.)								
Single-Family Detached	217,800 ³	43,560	30,000	15,000	10,000	7,000	6,000	4,000
Non-residential uses	217,800	43,560	30,000	15,000	10,000	7,000	6,000	4,000
Min. Lot Width (ft.) ⁴								
Single-Family Detached	200	100	100	80	75	70	60	40
Non-residential uses	200	100	100	80	75	70	60	40
MINIMUM SETBACKS (ft.)								
Front								
Single-Family Detached	50	50	40	25	25	20/25 ⁵	20/25 ⁵	15/25 ⁵
Other Allowed Uses	50	50	40	25	25	20 ⁵	20 ⁵	15 ⁵
Side ⁸								
Single-Family Detached	10	10	10	10	10	8	8	5
Other Allowed Uses	10 ^{5, 6}	10	10	10	10	8	8	5
Rear								
Single-Family Detached	25	25	25	25	20	20	20	15
Other Allowed Uses	25 ⁶	25	25	25	20	20	20	15
Waterfront ⁷	30	30	30	30	30	30	30	30
BUILDING HEIGHT								
Max. Height (stories)	2	2	2	2	2	2	2	2

FOOTNOTES:

¹ Overlay District regulations that address bulk and dimensional requirements supersede the requirements of this table.

² Shall not exceed three (3) units/acre if located within the velocity zone of the coastal high hazard area.

³ The minimum lot size cannot include wetlands, unless the standards of Section 401.3.C.3 are met.

⁴ The minimum lot width for corner lots shall be not less than fifteen (15) percent wider on both front yards than required in the district, except where both front yards equal or exceed one hundred fifty (150) feet each in width.

⁵ Front-loaded carports and garages, detached or attached to a single-family dwelling, require a 25-foot front yard setback. The required front yard setback may be administratively reduced up to a maximum of 5 feet, provided an equivalent distance between the internal edge of the sidewalk to the front property line is available to ensure a 25-foot separation from the sidewalk to the garage.

⁶ Fifty (50) feet for mobile homes.

⁷ Waterfront setbacks may be reduced by five (5) feet for platted lots of record.

⁸ On residential sites where the minimum side yard setback is less than seven and one half (7 ½) feet, accessory equipment such as air conditioning units, pumps, generators, and similar elements, shall be separated from similar elements on adjacent sites by a distance of at least ten (10) feet.



Table 4-6: Schedule of Bulk and Dimensional Standards for Duplex and Multi-family Residential Districts¹

	Duplex			Multi-Family			
	RDD-3	RDD-4.5	RDD-6	RMF-6	RMF-9	RMF-12	RMF-16
DENSITY/INTENSITY							
Max. Residential Density ²	3.0	4.5	6.0	6.0	9.0	12	16
Max. Non-Residential FAR	0.35	0.35	0.35	0.35	0.35	0.35	0.35
Min. Open Space (%)	20	20	20	20	20	20	20
LOT STANDARDS							
Min. Lot Area (sq. ft.)							
Single-Family Detached	8,000	7,000	6,000	6,000	6,000	5,000	4,000
Single-Family Semi-Detached	4,000 ³	4,000 ³	3,500	6,000	4,000	4,000	3,500
Duplex	8,000 ³	7,000	7,000	7,000	7,000	6,000	5,000
Single-Family Attached (interior lot/corner lot)	NA	NA	NA	2,400/3,400	2,400/3,400	No Min	No Min
Multi-Family	NA	NA	NA	7,000	10,000	No Min	No Min
Non-Residential Uses	12,000	8,000	7,000	6,000	10,000	6,000	6,000
Min. Lot Width (ft.)⁴							
Single-Family Detached	75	70	60	50	50	40	40
Single-Family Semi-Detached	40 ³	40 ³	35	50	40	27	27
Duplex	75 ³	70	70	100	35	40	40
Single-Family Attached (interior lot/corner lot)	NA	NA	NA	24/34	24/34	No Min	No Min
Multi-Family	NA	NA	NA	100	100	No Min	No Min
Non-Residential Uses	75	80	70	50	100	50	50
MINIMUM SETBACKS (ft.)							
Front⁵							
Single-Family Detached	25	25	25	20/25 ⁵	20/25 ⁵	15/25 ⁵	15/25 ⁵
Single-Family Semi-Detached	25	20 ⁶	20 ⁶	25	NA	15	15
Duplex	25	20 ⁶	25	25	25	15	15
Single-Family Attached	NA	NA	NA	25	25	15	15
Multi-Family	NA	NA	NA	25	25	15	15

Other Allowed Uses	25	25	25	25	25	15	15
Side ⁹							
Single-Family Detached	10	8	8	10	10	5	5
Single-Family Semi-Detached ⁶	10 ³ /15	10 ³ /15	8/15	10/15	10/15	5	5
Duplex	10 ³	10	8	10	10	5	5
Single-Family Attached	NA	NA	NA	10	10	5	5
Multi-Family	NA	NA	NA	10	10	5	5
Other Allowed Uses	15	15	15	15	10	5	5
Rear							
Single-Family Detached	20	20	20	20	20	15	15
Single-Family Semi-Detached	20	20	20	20	NA	15	15
Duplex	20	20	20	20	20	15	15
Single-Family Attached	NA	NA	NA	20	20	15	15
Multi-Family	NA	NA	NA	25 ⁷	25	20	20
Other Allowed Uses	20	20	20	25	25	20	20
Waterfront ⁸	30	30	30	30	30	30	30
BUILDING HEIGHT							
Max. Height (stories) ⁷	3	3	3	4	4	6	6

FOOTNOTES:

¹ Overlay District regulations that address bulk and dimensional requirements supersede the requirements of this table.

² Shall not exceed three (3) units/acre if located within the velocity zone of the coastal high hazard area.

³ Lots of record existing prior to 1981 shall contain a minimum of seven thousand (7,000) square feet and a width of seventy (70) feet to allow a duplex, or three thousand five hundred (3,500) square feet and thirty-five (35) feet in width for a single-family semi-detached unit. Side yard setbacks may be reduced to eight (8) feet. Existing duplexes may be split into semi-detached units provided that these minimum requirements are met.

⁴ The minimum lot width for corner lots shall be not less than fifteen (15) percent wider on both front yards than required in the district, except where both front yards equal or exceed one hundred fifty (150) feet each in width.

⁵ Front-loaded carports and garages, detached or attached to a single-family dwelling, require a 25-foot front yard setback. The required front yard setback may be administratively reduced up to a maximum of 5 feet, provided an equivalent distance between the internal edge of the sidewalk to the front property line is available to ensure a 25-foot separation from the sidewalk to the garage.

⁶ Per side/where only one (1) side yard is provided.

⁷ Subject to the building height compatibility standards contained in Section 401.5.

⁸ Waterfront setbacks may be reduced by five (5) feet for platted lots of record.

⁹ On residential sites where the minimum side yard setback is less than seven and one half (7 ½) feet, accessory equipment such as air conditioning units, pumps, generators, and similar elements, shall be separated from similar elements on adjacent sites by a distance of at least ten (10) feet.



Table 4-7: Schedule of Bulk and Dimensional Standards for Mobile Home Districts

Mobile Home ¹		
RSMH-4.5 RSMH-6		
DENSITY/INTENSITY		
Max. Residential Density ¹	4.5	6.0
Max. Non-Residential FAR	0.35	0.35
Min. Project Area (acres)	20	20
MIN. OPEN SPACE (%)		
Residential	20	20
Non-Residential	15	15
LOT STANDARDS		
Min. Lot Area (sq. ft.)		
Single-wide M.H. Site	3,000	3,000
Double-wide M.H. Site	4,000	4,000
Triple-wide M.H. Site	4,750	4,750
Non-residential use	10,000	10,000
Min. Lot Width (ft.)		
Single-wide M.H. Site	40	40
Double-wide M.H. Site	50	50
Triple-wide M.H. Site	60	60
Non-residential use	75	75
MINIMUM SETBACKS (ft.) ²		
Front	5	5
Side ³	5	5
Rear	5	5

	Mobile Home ¹	
	RSMH-4.5	RSMH-6
Waterfront	30	30
MINIMUM BUFFERS (ft.)		
Street/Residential District	50	50
Non-Residential District	15	15
BUILDING HEIGHT (Max.) (ft.)		
Residential	15	15
Non-Residential	35	35

¹ Shall not exceed three (3) units/acre if located within the velocity zone of the coastal high hazard area.

² Mobile Homes and Recreational Vehicles are exempt from the waterfront setback requirement. For mobile home parks without recorded lots or lot lines refer to Section 107.7.E.

³ On residential sites where the minimum side yard setback is less than seven and one half (7 ½) feet, accessory equipment such as air conditioning units, pumps, generators, and similar elements, shall be separated from similar elements on adjacent sites by a distance of at least ten (10) feet.

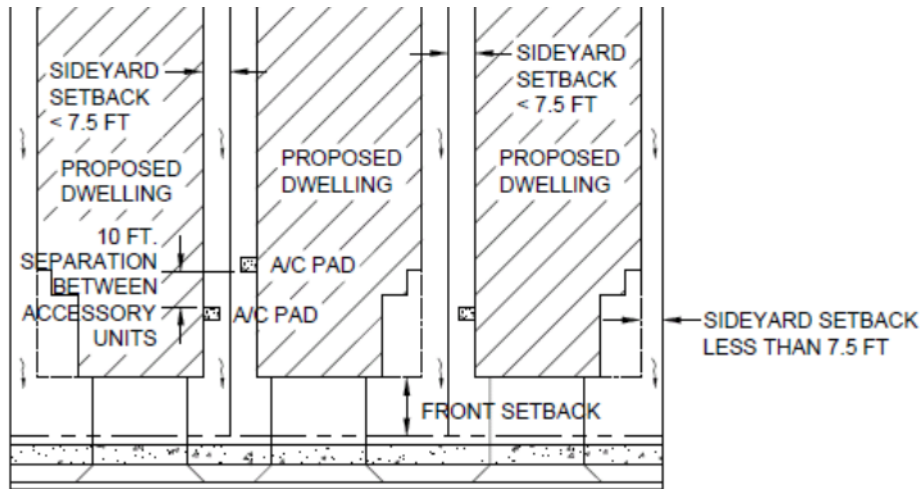


Table 4-8: Schedule of Bulk and Dimensional Standards for Office Commercial and Mixed-Use Districts¹

	Office		Commercial			GC	HC	MX	RVP
	PR-S	PR-M	NC-S	NC-M					
DENSITY/INTENSITY									
Maximum Density ²	Per FLUC							Per FLUC up to 12 sites/acre	
Maximum Non-Residential FAR	Per FLUC								
Max. Building Size (sq. ft.) for non-residential uses	3,000	30,000	3,000	30,000	Limited by FAR	Limited by FAR	Limited by FAR	NA	
Max. Building Size in conjunction with Commercial Locational Criteria ³	3,000	30,000	3,000	30,000	150,000 ¹¹	150,000 ^{4, 11}	300,000 ^{10, 11}	NA	
Min. Landscaped Open Space (%)	15	15	15	15	15	15	15	20 (RV Parks)/15 (Non-Resid)	

	Office		Commercial					
	PR-S	PR-M	NC-S	NC-M	GC	HC	MX	RVP
MINIMUM SETBACKS (ft.)								
Min. Lot Size (sq. ft.)	10,000	10,000	7,500	7,500	7,500	7,500	7,500	10 acre project size 1,600/1,200/10,000 ⁶
Minimum Width (ft.)	75	75	75	75	75	75	75	30/20/75 ⁶
MINIMUM SETBACKS (ft.)								
Front ¹²	25	25	25	25	25	25	25	50/5 ft. for internal sites 25 for uses other than RV Parks
Side	10	10	10	10	10	10	10	15/5 for internal sites/10 for uses other than RV parks
Rear	15	15	15	15	15	15	15	15 (5 ft. for internal sites)
Non-residential use adjacent to single family residential zoning	20	20	20	20	20	20	20	20
Waterfront ⁷	30	30	30	30	30	30	30	30 ⁸
BUILDING HEIGHT								
Max. Height (max. stories) ⁹	3	3	3	3	4 (6 SP)	3	4 (6 SP)	35 ft. (Non-Resid)/15 ft. (Resid)

FOOTNOTES:

SP = Special Permit required; FLUC=Future Land Use Category.

Unless specifically noted otherwise, the standards listed apply to residential and non-residential developments.

¹ Overlay district regulations that address bulk and dimensional requirements supersede the requirements of this table.

² Shall not exceed three (3) units/acre if located within the velocity zone of the coastal high hazard area.

³ See Commercial Locational Criteria in the Comprehensive Plan, which allows commercial nodes in residential future land use categories based on location and use.

⁴ See Section 531.49 for restrictions if the property is located in the IL (Industrial Light) future land use category.

⁵ For residential development, use the minimum standards required in the most intensive residential zoning district compatible with the site's future land use category (e.g. in RES-6, use RSF-6, RDD-6, RSMH-6, or RMF-6 depending on the use).

⁶ RV site/Site in Designated Camping Area/Non-residential or dwelling site.

⁷ Waterfront setbacks may be reduced by five (5) feet for platted lots of record. No minimum waterfront yard required for water dependent use structures.

⁸ Mobile Homes and Recreational Vehicles are exempt from this waterfront setback requirement.

⁹ Buildings in excess of thirty-five (35) feet must meet the standards of Section 401.5 (Building Height Compatibility).

¹⁰ Commercial uses exceeding one hundred fifty thousand (150,000) square feet shall be directly accessed from at least one (1) arterial roadway, unless the site is located in the Urban Core or within a MU-C future land use category.

¹¹ No maximum building size, unless the project is restricted by the Commercial Locational Criteria to the sizes noted. FAR is still applicable.

¹² Front-loaded carports and garages, detached or attached to a single-family dwelling, require a 25-foot front yard setback. The required front yard setback may be reduced up to a maximum of 5 feet, provided an equivalent distance between the internal edge of the sidewalk to the front property line is available to ensure a 25-foot separation from the sidewalk to the garage.

[...]

Table 4-11: Standards for Development in Urban Corridors⁽¹⁾

	Residential				Office	Commercial			Manufacturing	
	RMF-6	RMF-9	RMF-12	RMF-16	PR-M	NC-M	GC	MX	LM	HM
Residential Density ⁽²⁾	6	9/20	24	32	Per Future Land Use Category					
Non-Residential Intensity ⁽²⁾	1.0 ⁽³⁾	1.0 ⁽³⁾	1.0 ⁽³⁾	1.0 ⁽³⁾	Per Future Land Use Category					
Min. Landscaped Open Space (%)	15	15	15	15	15	15	10	10	15	15
Minimum Lot Width (ft.)	75	75	75	75	75	75	75	75	100	100
Building Height (max. stories) ⁽²⁾	3/5	5/7	5/7	5/7	5/7	5/7	5/7	5/7	5/7	5/7
Building Setbacks:									See Table 4-9	
• Front Setback (min./max.)										
• Side Setback (minimum)										
• Rear Setback (minimum)										

NOTE: The standards listed apply to residential and non-residential developments.

- (1) The standards shown in this table are only applicable to Urban Corridor sites that meet all the standards of Section 902. In no event shall densities and intensities be allowed to exceed the maximum permitted within the site's future land use designation.
- (2) The first figure represents the standard allowed by right, the second may only be attained through a bonus (see Section 902.9, Density, Intensity and Height Bonus). Additional setback/step-back requirements stated in Section 902.6 and Airport Impact Overlay District regulations stated in Section 403.2 may render some sites ineligible for the maximum permitted height.
- (3) Subject to locational criteria and/or commercial development size restrictions (see policies 2.2.1.12 through 2.2.1.28.6, 2.10.4.1 and 2.10.4.2 of the Comprehensive Plan).
- (4) Front-loaded carports and garages, detached or attached to a single-family dwelling, require a 25-foot front yard setback. The required front yard setback may be administratively reduced up to a maximum of 5 feet, provided an equivalent distance between the internal edge of the sidewalk to the front property line is available to ensure a 25-foot separation from the sidewalk to the garage.

[...]

402.7. PDR—Planned Development Residential.

[...]

D. PDR Standards.

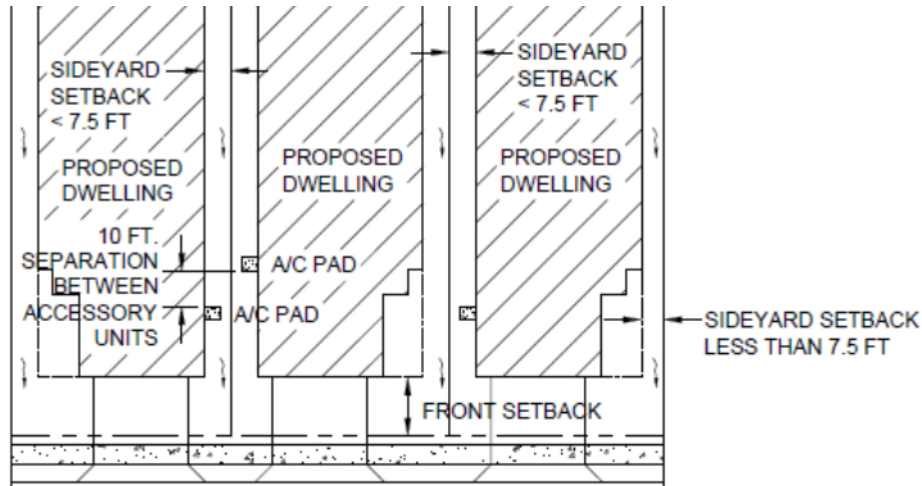
[...]

6. *Traffic Circulation.* Provide for inter-neighborhood ties; however, the neighborhood focal points shall not be located, when possible, along collector/connector roads.
7. *Yards and Setbacks.* For each PDR District yard and setback requirements shall be established which promote general health, safety, welfare, design excellence and neighborhood compatibility. Yard and setback standards shall be consistent within each Planned Development district or "phase." Each new planned development project may propose specific setbacks for that project. Unless otherwise specified within the development approvals, the following minimum required yards shall apply to all previously approved projects:

Minimum front yard of twenty (20) feet, except that all front loaded garages and carports shall have a minimum setback of twenty-five (25) feet. The required front yard setback may be administratively reduced up to a maximum of 5 feet, provided an equivalent distance between the internal edge of the sidewalk to the front property line is available to ensure a 25-foot separation from the sidewalk to the garage.

Minimum side yard of eight (8) feet.

On residential sites where the minimum side yard setback is less than seven and one half (7 ½) feet, accessory equipment such as air conditioning units, pumps, generators, and similar elements, shall be separated from similar elements on adjacent sites by a distance of at least ten (10) feet.



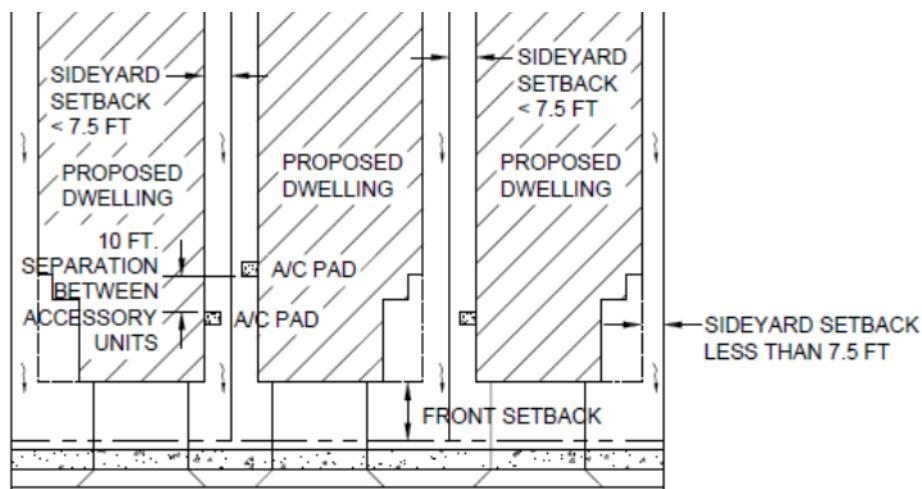
Minimum rear yard of fifteen (15) feet.

If no minimum setbacks are established for the project at the rezoning and/or site plan approval (e.g. General Development Plan or Preliminary Site Plan) stage, the required setbacks shall be:

Minimum front yard—twenty-five (25) feet.

Minimum side yard—eight (8) feet.

On residential sites where the minimum side yard setback is less than seven and one half (7 ½) feet, accessory equipment such as air conditioning units, pumps, generators, and similar elements, shall be separated from similar elements on adjacent sites by a distance of at least ten (10) feet.



Minimum rear yard—fifteen (15) feet.

8. *Minimum Lot Width.* If no minimum lot width is established at the rezoning and/or site plan approval (e.g. General Development Plan or Preliminary Site

Plan) stage, then the minimum lot width shall be sixty (60) feet for single-family residences.

9. *Building Height.* Building heights above three (3) stories may be approved by the Board and, if approved, shall comply with the requirements of Section 401.5.A if the development is adjacent or directly across the street from a single family residential zoning district and Section 401.5.B.1 through 5 if adjacent to other uses. Telecommunication towers shall not exceed a maximum height of one hundred fifty (150) feet.

[...]

Section 545. - Housing Program

545.1. - Purpose and Intent.

The purpose of this section is to provide for a variety of housing opportunities for present and future residents of Manatee County. This section is intended to comply with F.S. ch. 163 generally and specifically § 163.3177(6)(f) and F.S. ch. 420, generally and specifically § 420.9076, F.S.

545.2. - Affordable Housing Incentives.

[...]

Table 5-7: Schedule of Bulk and Dimensional Standards for Specific Single-Family Residential Districts

	RSF-4.5/H	RSF-6/H	RSF-9/H
Min lot size	4,000	3,500	3,500
Min. width	40	35	35
Min. front setback	20/25¹	20/25¹	20/25¹
Min. side setback	5	5	5
Min rear setback	15	15	15

¹Front-loaded carports and garages, detached or attached to a single-family dwelling, require a minimum 25-foot front yard setback. The required front yard setback may be administratively reduced up to a maximum of 5 feet, provided an equivalent distance between the internal edge of the sidewalk to the front property line is available to ensure a 25-foot separation from the sidewalk to the garage.

[...]

Chapter 8 - ENGINEERING DESIGN AND UTILITIES

[...]

Section 800. - Subdivision Requirements.

[...]

800.11. Cluster Subdivisions—Conservation.

A. **Purpose.** The purpose of this section is to permit the clustering of residential and non-residential development to promote the protection of environmentally sensitive lands through creative design.

B. **General Provisions.**

1. Cluster development is allowed in conjunction with residential and non-residential development and shall be processed in conjunction with a subdivision plat or a site plan approval.
2. Cluster development shall comply with all other provisions of the LDC, including site plan/subdivision requirements and all other applicable laws, except as noted in this section.
3. The tract of land to be subdivided may be held in single or in multiple ownership. If held in multiple ownership, however, the site shall be developed according to a single development plan with common authority and common responsibility.
4. The overall project gross residential density and/or floor area ratio shall meet the requirements of the assigned zoning district and future land use category.
5. Cluster developments may only include the uses permitted in the zoning district assigned to the site and shall be subject to the review process (P or SP) noted in Chapter 4.
6. The development shall comply with the following standards:
 - a. *Dimensional Standards.*

	Single Family Detached Units	Single Family Attached Units ¹	Multifamily Buildings ¹	Non-Residential Buildings ¹
Development Site Size (min.) in acres	10	10	10	5
Lot Size (min.)	A Zoning: 1 acre A-1 Zoning: ½ acre All other districts: 50% of district requirement, but no less than 4,000 sq. ft. for single family detached, and 2,400 for single family attached homes.			

Lot Width (min.)	A Zoning: 100 feet A-1 Zoning: 75 feet All other districts: 50% of district requirement, but no less than 20 feet.			
Front Yard Setback (min.) in feet	10/25 ²	10/25 ²	10/25 ²	10
Side Yard Setback (min.) in feet ⁴	5 ³	0 ³ /5 end units	5 ³	0 ³
Rear Yard Setback (min.) in feet	20	15	25	15
Open Space (min.)	Per Zoning District			

¹ West of FDAB only.

² Front-loaded carports and garages, detached or attached to a single-family dwelling, require a 25-foot front yard setback. The required front yard setback may be administratively reduced up to a maximum of 5 feet, provided an equivalent distance between the internal edge of the sidewalk to the front property line is available to ensure a 25-foot separation from the sidewalk to the garage.

³ There shall be no less than a 10-foot separation between structures unless both structures use a zero-foot setback or as required by the building code.

⁴ On residential sites where the minimum side yard setback is less than seven and one half (7 ½) feet, accessory equipment such as air conditioning units, pumps, generators, and similar elements, shall be separated from similar elements on adjacent sites by a distance of at least ten (10) feet.



[...]

Chapter 9 - DESIGN GUIDELINES AND STANDARDS

[...]

Section 902. Urban Corridor Design Standards.

[...]

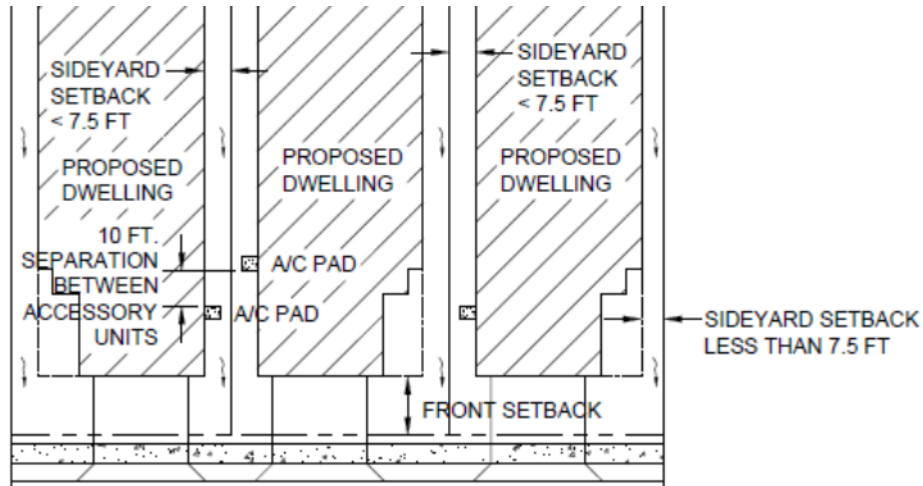
902.5. Building Design Standards.

[...]

H. **Mechanical Equipment.** For the purpose of this section, mechanical equipment is defined as a heating, ventilation, or air conditioning unit placed outside of a building, in addition to any utility-related equipment such as backflow preventers, pumps, meters, transformers and similar equipment required to be installed on a development site. Mechanical equipment shall be located so that noise and visual impacts upon abutting residential property are minimized.

1. Mechanical equipment shall not be permitted within any required building setback unless the utility company determines the setback to be the only possible location.
2. Mechanical equipment shall not be located between the building and the street. On corner lots, the location of mechanical equipment along a secondary street may be permitted through the modification of standards process subject to the screening requirements stated below.
3. Screening (by wall, fence or vegetative matter) that exceeds the height of the equipment shall be required if the equipment is visible from the street or adjacent properties. Certain equipment, such as, but not limited to rain barrels or cisterns, shall not require screening provided they are designed to blend with the building and are constructed with the same materials and colors.

4. Roof-top mechanical equipment shall be enclosed by parapets or screen walls of the minimum height necessary to conceal it, and a maximum height of five (5) feet.
5. On residential sites where the minimum side yard setback is less than seven and one half (7 ½) feet, accessory equipment such as air conditioning units, pumps, generators, and similar elements, shall be separated from similar elements on adjacent sites by a distance of at least ten (10) feet.



I. Solid Waste Disposal Facilities.

1. Solid waste disposal facilities (solid waste, recycling, and yard trash containers (except litter containers), and grease containers) must be located to the side or rear of the building and shall be concealed from view from the public street by a wall of up to 6 feet in height. The enclosing wall shall be finished and/or painted with the same material as is used on the building and shall be fitted with an opaque sliding or hinged door and working latch.