

ORDINANCE NO. 5407

AN ORDINANCE to amend and reordain Sheet No. 031.02 of the "Official Zoning Map, Alexandria, Virginia," adopted by Section 1-300 (OFFICIAL ZONING MAP AND DISTRICT BOUNDARIES), of the City of Alexandria Zoning Ordinance, by rezoning the property at 3701 West Braddock Road from, R-12/Single-family and POS/Public open space and community recreation to OCM(50)/Office commercial medium (50) and POS/Public open space and community recreation in accordance with the said zoning map amendment heretofore approved by city council as Rezoning No. 2021-00008.

WHEREAS, the City Council finds and determines that:

1. In Rezoning No. 2021-00008, the Planning Commission, having found that the public necessity, convenience, general welfare and good zoning practice so require, recommended approval to the City Council on January 4, 2022 of a rezoning of the property at 3701 West Braddock Road from, R-12/Single-family and POS/Public open space and community recreation to OCM(50)/Office commercial medium (50) and POS/Public open space and community recreation, which recommendation was approved by the City Council at public hearing on January 22, 2022;
2. The said rezoning is in conformity with the 1992 Master Plan of the City of Alexandria, Virginia, as amended.
3. All requirements of law precedent to the adoption of this ordinance have been complied with; now, therefore,

THE CITY COUNCIL OF ALEXANDRIA HEREBY ORDAINS:

Section 1. That Sheet No. 031.02 of the "Official Zoning Map, Alexandria, Virginia," adopted by Section 1-300 of the City of Alexandria Zoning Ordinance, be, and the same hereby is, amended by changing, in the manner set forth below, the zoning classification of the property hereinafter described:

LAND DESCRIPTION: 3701 West Braddock Road, Alexandria, Virginia 22302, 031.02-02-05, diagram attached

From: R-12/Single-family and POS/Public open space and community recreation

To: OCM(50)/Office commercial medium (50) and POS/Public open space and community recreation

Section 2. That the director of planning and zoning be, and hereby is, directed to record the foregoing amendment on the said map.

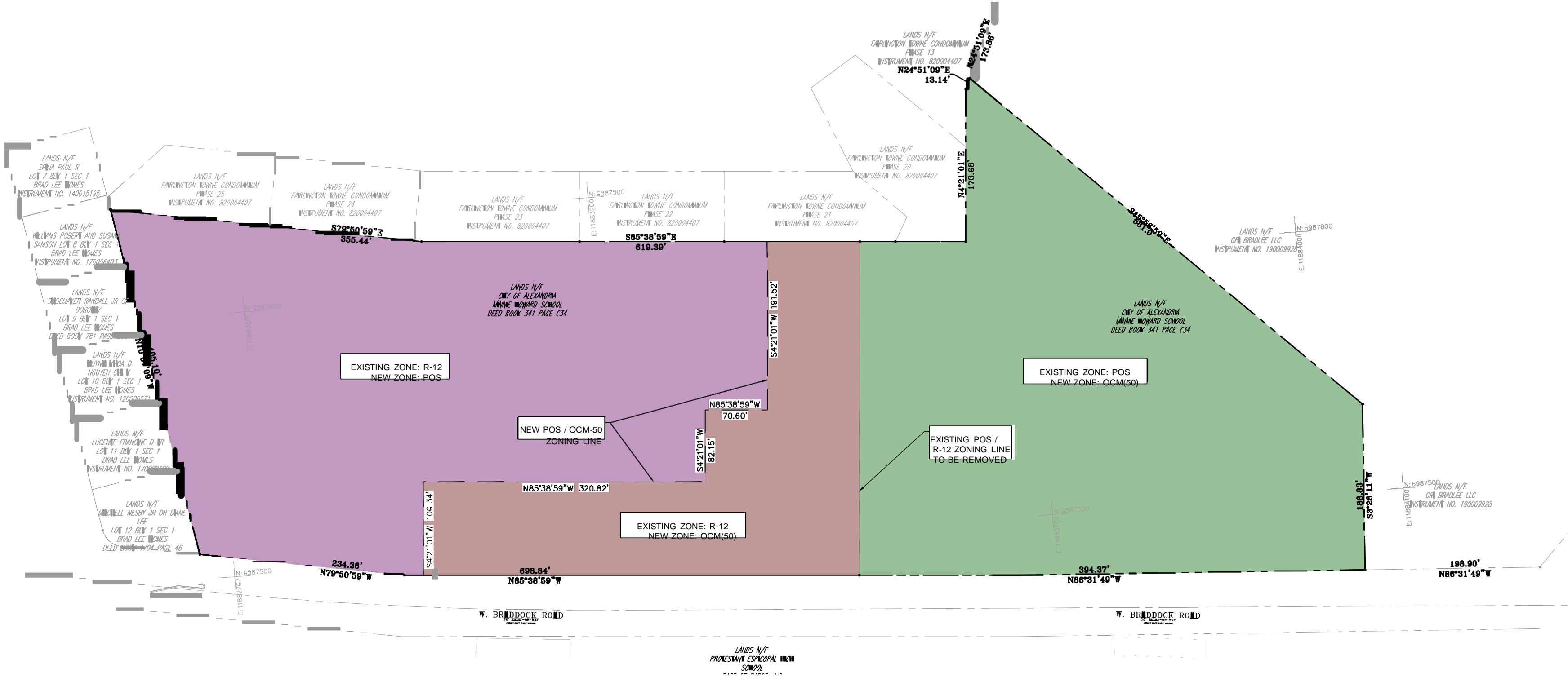
Section 3. That Sheet No. 031.02 of the "Official Zoning Map, Alexandria, Virginia," as so amended, be, and the same hereby is, reordained as part of the City of Alexandria Zoning Ordinance.




Section 4. That this ordinance shall become effective on the date and at the time of its final passage.

JUSTIN M. WILSON
Mayor

Final Passage: 02/12/2022

PLOTTED BY: Van Acker, Leif SHEET SET: 110574002 Preliminary Site Plan LAYOUT: C1.1 REZONING PLAN November 23, 2021 02:34:18pm K:\NVA_CIV\110574002 Minnie Howard CAD Exhibits\Rezoning Plan.dwg
THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.




LEGEND			
	EXISTING ZONE:	R12	PROPERTY LINE
	ZONE:	POS	ADJACENT PROPERTY LINE
	EXISTING ZONE:	R12	
	ZONE:	OCM(50)	
	EXISTING ZONE:	POS	EXISTING ZONING LINE
	ZONE:	OCM(50)	NEW ZONING LINE

ZONING SUMMARY					
ZONE		EXISTING			
R12	7.00 AC	305,029 SF	0.00 AC	0 SF	
POS	5.00 AC	217,821 SF	5.00 AC	217,821 SF	
OCM(50)	0.00 AC	0 SF	7.00 AC	305,029 SF	
TOTAL	12.00 AC	522,850 SF	12.00 AC	522,850 SF	

NOTES:

- BOUNDARY INFORMATION SHOWN HEREON IS BASED ON ALTA SURVEY PREPARED BY GRS GROUP, LLC, DATED MARCH 17, 2021. GRAPHIC SCALE IN FEET

NAD 83 VIRGINIA
STATE PLANE
NORTH ZONE, US FOOT



0 30 60 120
SCALE: 1"=60'

NO.	DATE	ISSUE

PERKINS
EASTMAN

One Thomas Circle NW, Suite 200
Washington, DC 20005
T: +1 202 861 1325
F: +1 202 861 1326

Owner / Client:
Alexandria City Public Schools
1340 Braddock Pl, Alexandria, VA 22314

Construction Manager:
Gilbane Building Company
1100 N Glebe Rd #1000, Arlington, VA 22201

Architect:
Perkins Eastman
1 Thomas Circle NW, Suite 200, Wash., DC 20005

Associate Architect:
Maginniss + del Ninno Architects
500 Montgomery St, Suite 550 Alexandria, VA 22314

Civil / Site / Landscape / Traffic:
Kimley-Horn and Associates, Inc.
11400 Commerce Park Dr, #400, Reston, VA 20191

Structural:
Ehlert Bryan Inc
8609 Westwood Center Dr #800, Tysons, VA 22182

MEP / FP / IT / AV / Security:
CMTA Inc. Consulting Engineers
4401 Fairfax Drive, Suite 215, Arlington, VA 22203

Envelope / Life Safety:
Wiss, Janney, Elstner Associates, Inc.
2941 Fairview Park Dr, #300, Falls Church, VA 22042

Food Service:
Nyikos-Garcia Foodservice Design, Inc
7146 Starmount Way, New Market, MD 21774

Pool Planning & Design:
Aquatic Design Group Inc
2226 Faraday Avenue, Carlsbad, CA 92008

Acoustics:
Polysonics Corp
405 Belle Air Ln, Warrenton, VA 20186

Archaeology:
Commonwealth Heritage Group
5250 Cherokee Ave #300, Alexandria, VA 22312

Community Outreach:
DP Consultants
1313 Vermont Ave NW, Washington, DC 20005

Cost Estimator:
Downey & Scott, LLC
6799 Kennedy Rd, Warrenton, VA 20187

Geotechnical / Haz Mat:
ECS Mid-Atlantic LLC
14026 Thunderbolt Pl Suite 100, Chantilly, VA 20151

Specifications:
Heller Metzger PC
4800 Penn Ave NW #220, Washington, DC 20006

PROJECT TITLE:

ALEXANDRIA CITY HIGH SCHOOL MINNIE HOWARD CAMPUS

3701 W Braddock Rd,
Alexandria, VA 22302

PROJECT No: 110572001

DEPARTMENT OF PLANNING & ZONING

APPROVED DATE

SPECIAL USE PERMIT NO. DSUP-2021-10026

DEPARTMENT OF TRANSPORTATION & CONSTRUCTION SERVICES

DIRECTOR DATE

SITE PLAN NO.

DATE RECORDED

INSTRUMENT NO. DEED BOOK NO. PAGE NO.

CREATION: PLANNING COMMISSION DATE

DRAWING TITLE:

REZONING PLAN

SCALE: 1"=60'

C1.1

FINAL SITE PLAN

