

ORDINANCE NO. 4257

AN ORDINANCE OF THE CITY OF RICHARDSON, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND ZONING MAP OF THE CITY OF RICHARDSON, AS HERETOFORE AMENDED, SO AS TO GRANT A CHANGE IN ZONING FROM R-1800-M RESIDENTIAL DISTRICT AND R-1500-M RESIDENTIAL DISTRICT TO PD PLANNED DEVELOPMENT FOR THE R-1500-M RESIDENTIAL DISTRICT WITH DEVELOPMENT REGULATIONS FOR A 49.774 ACRE TRACT OF LAND LOCATED AT THE SOUTHEAST CORNER OF E. SPRING VALLEY ROAD AND S. ST. JOHNS DRIVE, AND BEING FURTHER DESCRIBED IN EXHIBIT "A"; PROVIDING A SAVINGS CLAUSE; PROVIDING A REPEALING CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; AND PROVIDING AN EFFECTIVE DATE. (ZONING FILE 18-12).

WHEREAS, the City Plan Commission of the City of Richardson and the governing body of the City of Richardson, in compliance with the laws of the State of Texas and the ordinances of the City of Richardson, have given requisite notice by publication and otherwise, and after holding due hearings and affording a full and fair hearing to all property owners generally and to all persons interested and situated in the affected area and in the vicinity thereof, the governing body, in the exercise of the legislative discretion, has concluded that the Comprehensive Zoning Ordinance and Zoning Map should be amended; **NOW THEREFORE**,

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF RICHARDSON, TEXAS:

SECTION 1. That the Comprehensive Zoning Ordinance and Zoning Map of the City of Richardson, Texas, duly passed by the governing body of the City of Richardson on the 5th day of June, 1956, as heretofore amended, be, and the same is hereby amended so as to grant a change in zoning from R-1800-M Residential District and R-1500-M Residential District to PD Planned Development for the R-1500-M Residential District with development regulations for a 49.774 acre tract of land (Property) located at the southeast corner of E. Spring Valley Road and S. St. Johns Drive, and being more particularly described in Exhibit "A" attached hereto and made a part hereof for all purposes.

SECTION 2. That the Property shall be zoned PD Planned Development for R-1500-M Residential District and shall be developed and used in accordance with the concept plan attached as Exhibit "B" ("Concept Plan"), the building elevations attached as Exhibits "C-1" and "C-2" (the "Building Elevations"), which are hereby approved and made a part hereof; and the R-1500-M Residential District regulations, except as provided herein:

1. Base Zoning District: Tract A shall be developed and used in accordance with R-1500-M Residential District regulations except as otherwise provided herein.
2. Building Regulations:
 - a. The exterior façade of the Multi-Purpose Activity Center shall be in accordance with the attached Building Elevations. Three-step stucco material may be used for the purpose of calculating masonry material percentages when located above thirty (30) feet in height.
3. Building Height:
 - a. The Multi-Purpose Activity Center shall be limited to a maximum building height of fifty-three (53) feet measured to the top of the roof.
 - b. The maximum building height of newly constructed buildings, other than the multi-purpose activity center, shall be forty (40) feet.
 - c. Building heights of existing buildings shall be limited per the Concept Plan. All other structures constructed prior to 2017 that do not comply with the height regulations shall be considered legal conforming structures.
4. Area Regulations
 - a. The minimum setback from the property line along S. Yale Boulevard for the Multi-Purpose Activity Center shall be fifty (50) feet with parking for the Multi-Purpose Activity Center prohibited within 160 feet from the property line along S. Yale Boulevard.
 - b. Parking: A minimum of 1,139 parking spaces shall be provided.
5. Miscellaneous
 - a. The development submittal package for the Multi-Purpose Activity Center shall only include the area(s) being disturbed for its development and may be approved by the Director of Development Services, or designee.
 - b. Ornamental trees shall be planted by the Richardson Independent School District within the existing median on Yale Boulevard located between Eastfield Drive and JJ Pearce Drive. Said trees shall be a minimum of ten (10) feet in height at the time of planting. The placement and/or grouping of said trees shall be reviewed and approved by the Director of Development Services, or designee to maintain consistency with the existing landscape design in the median.
 - c. A minimum of four (4) canopy trees and four (4) ornamental trees shall be planted with the landscape area located on the east side of the Multi-Purpose Activity Center.

- d. Fencing for athletic facilities shall be exempt from the maximum 8' height requirements.
- e. A masonry screening wall shall not be required along the southern property line, adjacent to the existing alley.
- f. All existing pole mounted lighting that do not conform with the current height requirements shall be considered legal conforming. Any new lighting installations shall meet the current height regulations of the R-1500-M Residential District.

SECTION 4. That the above-described tract of land shall be used in the manner and for the purpose provided for by the Comprehensive Zoning Ordinance of the City of Richardson, Texas, as heretofore amended.

SECTION 5. That all other provisions of the ordinances of the City of Richardson in conflict with the provisions of this Ordinance be, and the same are hereby, repealed, and all other provisions of the ordinances of the City of Richardson not in conflict with the provisions of this Ordinance shall remain in full force and effect.

SECTION 6. That should any sentence, paragraph, subdivision, clause, phrase or section of this Ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this Ordinance as a whole or any part or provision thereof other than the part so decided to be invalid, illegal or unconstitutional, and shall not affect the validity of the Comprehensive Zoning Ordinance as a whole.

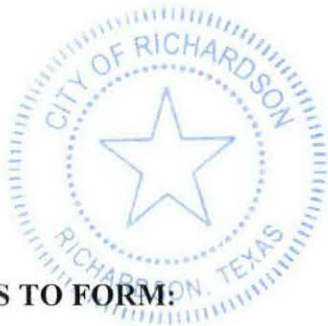
SECTION 7. That an offense committed before the effective date of this Ordinance is governed by prior law and the provisions of the Comprehensive Zoning Ordinance, as amended, in effect when the offense was committed and the former law is continued in effect for this purpose.

SECTION 8. That any person, firm or corporation violating any of the provisions or terms of this Ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the City of Richardson, as heretofore amended, and upon

conviction shall be punished by a fine not to exceed the sum of Two Thousand Dollars (\$2,000.00) for each offense; and each and every day such violation shall continue shall be deemed to constitute a separate offense.

SECTION 9. That this Ordinance shall take effect immediately from and after its passage and the publication of the caption, as the law and charter in such case provide.

DULY PASSED by the City Council of the City of Richardson, Texas, on the 11th day of June, 2018.



APPROVED AS TO FORM:

Peter H Smith

CITY ATTORNEY
(PGS:TM99731)

APPROVED:

[Signature]

MAYOR

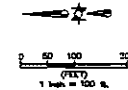
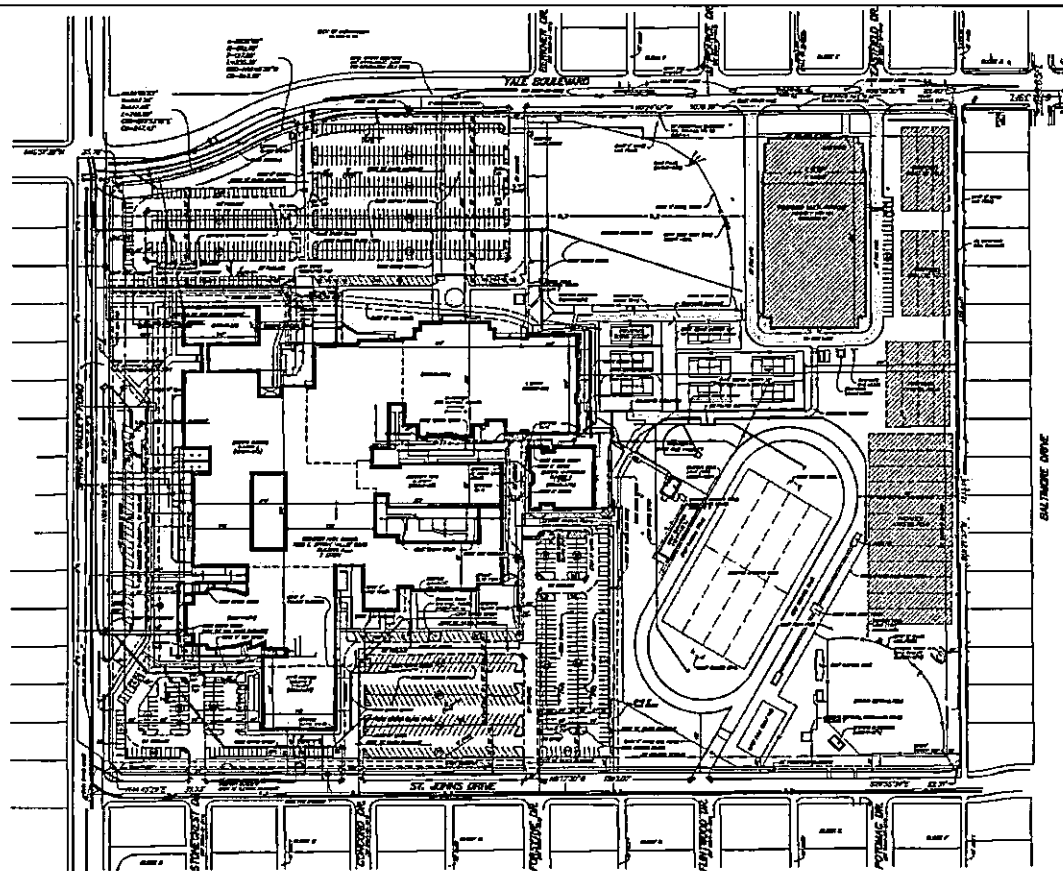
CORRECTLY ENROLLED:

Aimee Norre

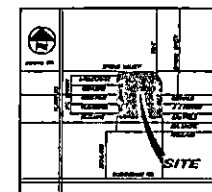
CITY SECRETARY

EXHIBIT "A"
LEGAL DESCRIPTION
ZF 18-12

LOT 1, BLOCK A, BERKNER HIGH SCHOOL ADDITION, an addition to the City of Richardson, Dallas County, Texas, according to the plat thereof recorded in Volume 2003136, Page 00060, Map Records, Dallas County, Texas.



- LEGEND**
- LIGHT STANDARD
 - ⊙ PARKING COUNT
 - ▬ EXISTING BUILDING LIMITS
 - ▨ PROPOSED FIELD & BUILDING ADDITION LIMITS
 - ▬ PROPOSED PARKING PARKING
 - ◆ FIRE HYDRANT



BERKNER HIGH SCHOOL SITE DATA

LEGAL DESCRIPTION LOT 2, BLOCK A, BERKNER HIGH SCHOOL
ADDRESS 1800 E SPRING VALLEY ROAD, RICHARDSON, TX

EXISTING ZONING R-1800-H AND R-1300-H RESIDENTIAL (ORD. NO. 437 AND 438)
PROPOSED ZONING PD PLANNED DEVELOPMENT - R-1300-H

EXISTING LOT COVERAGED 17%
PROPOSED LOT COVERAGED 30.0%

SITE AREA 45.406 AC - 1,972,813 S.F.

EXISTING BLDG. AREA

Building A (Main High School)
1st Floor 194,808 s.f.
2nd Floor 153,308 s.f.
3rd Floor 213,381 s.f.
Building B (Nursery/Pre-K) 14,887 s.f.
Building C (Gymnasium) 84,425 s.f.
Building D (Fine Arts) 80,177 s.f.
Building E (Softball Concussion Stand) 628 s.f.
Building F (Baseball Concussion Stand) 629 s.f.
Building G (Athletic Field Concussion) 630 s.f.
Existing Subtotal 578,127 s.f.

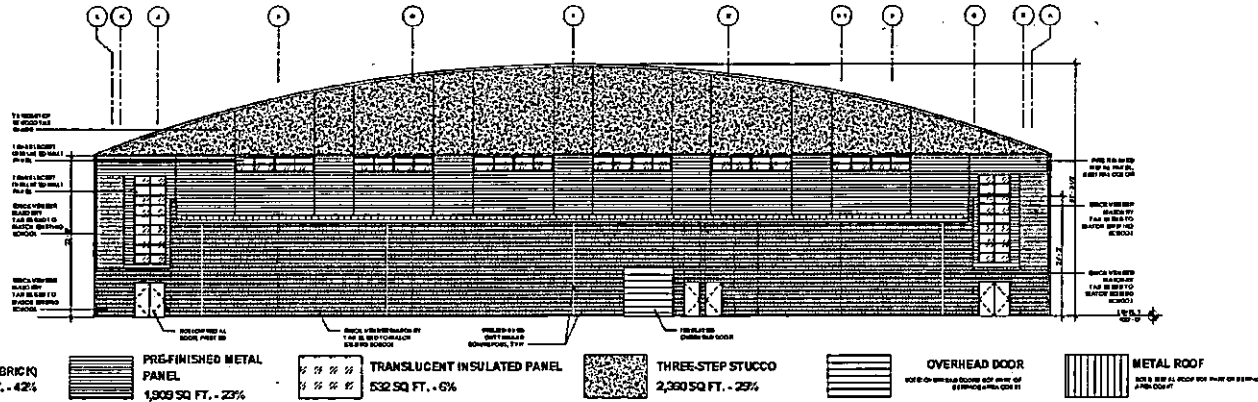
PROPOSED BLDG. AREA

Building H (Multi-Purpose Activity Ctr) 80,000 s.f.
PROPOSED TOTAL 658,127 s.f.

PARKING PROVIDED Spaces 1,129

SHEET NO.	
1	

REVISED - ZONING EXHIBIT "B"						
BERKNER HIGH SCHOOL						
RISD						
HKS ARCHITECTS						
CITY OF RICHARDSON, TEXAS						
DESIGN	DRAWN	DATE	SCALE	REVISIONS	FILE	NO.
RLD	RLD	3/3/10	1"=100'	NO	1813	016
JOB NO.	1813.074	C-FILE		DWG. NO.		

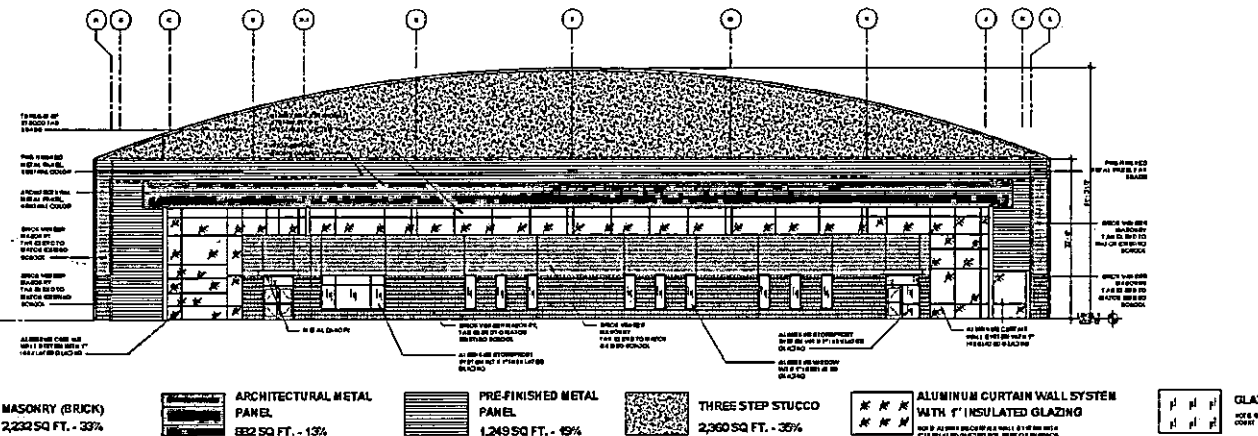


FACADE MATERIAL PERCENTAGES		
WEST ELEVATION TOTAL: 8,210 S.F.		
241 S.F.	GLAZING & DOORS	
8,209 S.F.	FACADE (LESS GLAZING & DOORS)	100%
3,468 S.F.	MASONRY (BRICK)	42%
1,909 S.F.	PRE-FINISHED METAL PANEL	23%
532 S.F.	TRANSLUCENT INSULATED PANEL	6%
2,360 S.F.	THREE-STEP STUCCO	29%
TOTAL MASONRY (BRICK & STUCCO) = 71%		

EAST ELEVATION TOTAL: 8,336 S.F.		
1,813 S.F.	GLAZING & DOORS	
6,723 S.F.	FACADE (LESS GLAZING & DOORS)	100%
2,232 S.F.	MASONRY (BRICK)	33%
882 S.F.	ARCHITECTURAL METAL PANEL	13%
1,249 S.F.	PRE-FINISHED METAL PANEL	19%
2,360 S.F.	THREE-STEP STUCCO	35%
TOTAL MASONRY (BRICK & STUCCO) = 68%		

NORTH ELEVATION TOTAL: 11,468 S.F.		
501 S.F.	GLAZING & DOORS	
10,565 S.F.	FACADE (LESS GLAZING & DOORS)	100%
8,427 S.F.	MASONRY (BRICK)	80%
640 S.F.	TRANSLUCENT INSULATED PANEL	6%
330 S.F.	ARCHITECTURAL METAL PANEL	3%
1,168 S.F.	PRE-FINISHED METAL PANEL	11%
TOTAL MASONRY (BRICK & STUCCO) = 80%		

SOUTH ELEVATION TOTAL: 11,468 S.F.		
854 S.F.	GLAZING & DOORS	
10,518 S.F.	FACADE (LESS GLAZING & DOORS)	100%
8,438 S.F.	MASONRY (BRICK)	80%
640 S.F.	TRANSLUCENT INSULATED PANEL	6%
330 S.F.	ARCHITECTURAL METAL PANEL	3%
1,204 S.F.	PRE-FINISHED METAL PANEL	11%
TOTAL MASONRY (BRICK & STUCCO) = 80%		



BERKNER HIGH SCHOOL MULTI-PURPOSE ACTIVITY CENTER

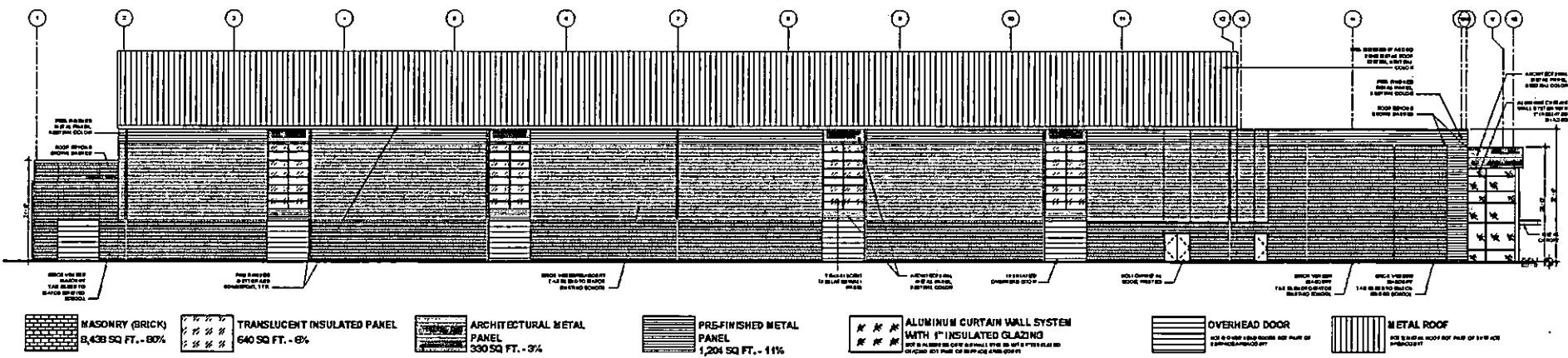
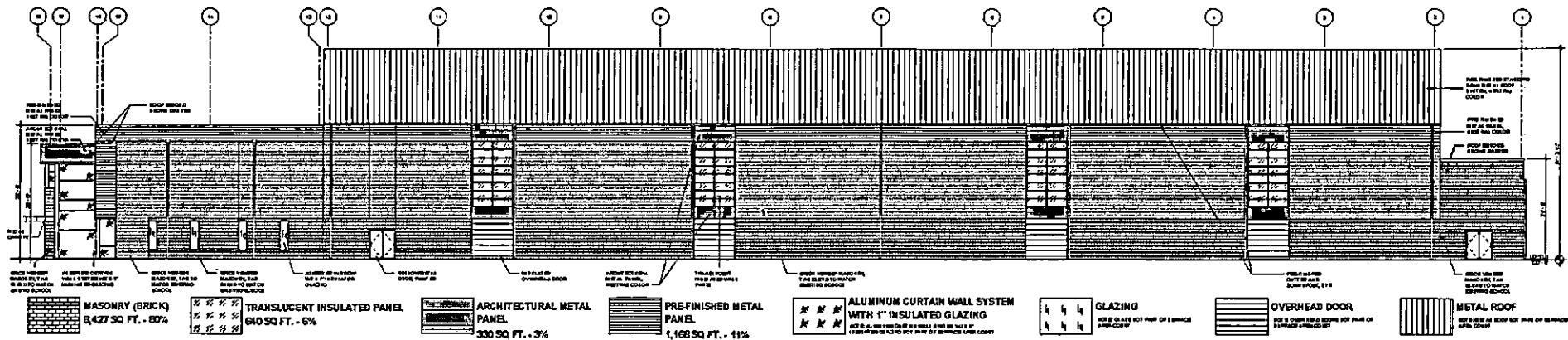
OWNER: RICHARDSON INDEPENDENT SCHOOL DISTRICT
400 S. GREENVILLE AVE.
RICHARDSON, TX 75081

ARCHITECT: HKS, INC.
350 N. SAINT PAUL ST., SUITE 100
DALLAS, TX 75201-4240

ZONING EXHIBIT C-1

ELEVATIONS - BHS
SCALE: 1" = 10'-0"
00.00BHS 04/24/2018 21091.000

HKS
ARCHITECTS



BERKNER HIGH SCHOOL MULTI-PURPOSE ACTIVITY CENTER

ZONING EXHIBIT C-2

OWNER: RICHARDSON INDEPENDENT SCHOOL DISTRICT
400 S. GREENVILLE AVE.
RICHARDSON, TX 75081

ARCHITECT: HKS, INC
350 N. SAINT PAUL ST., SUITE 100
DALLAS, TX 75201-4240

ELEVATIONS - BHS
307 - 102
SCALE: 1" = 10'-0"
00.01BHS 04/24/2018 21091.000

HKS
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