

**ORDINANCE NO. 4256**

**AN ORDINANCE OF THE CITY OF RICHARDSON, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND ZONING MAP OF THE CITY OF RICHARDSON, AS HERETOFORE AMENDED, SO AS TO GRANT A CHANGE IN ZONING FROM R-1500-M RESIDENTIAL DISTRICT TO PD PLANNED DEVELOPMENT FOR THE R-1500-M RESIDENTIAL DISTRICT WITH DEVELOPMENT REGULATIONS FOR A 45.9294 ACRE TRACT OF LAND LOCATED AT THE NORTHEAST CORNER OF N. COIT ROAD AND MELROSE DRIVE, AND BEING FURTHER DESCRIBED IN EXHIBIT "A"; PROVIDING A SAVINGS CLAUSE; PROVIDING A REPEALING CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; AND PROVIDING AN EFFECTIVE DATE. (ZONING FILE 18-11).**

**WHEREAS**, the City Plan Commission of the City of Richardson and the governing body of the City of Richardson, in compliance with the laws of the State of Texas and the ordinances of the City of Richardson, have given requisite notice by publication and otherwise, and after holding due hearings and affording a full and fair hearing to all property owners generally and to all persons interested and situated in the affected area and in the vicinity thereof, the governing body, in the exercise of the legislative discretion, has concluded that the Comprehensive Zoning Ordinance and Zoning Map should be amended; **NOW THEREFORE**,

**BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF RICHARDSON, TEXAS:**

**SECTION 1.** That the Comprehensive Zoning Ordinance and Zoning Map of the City of Richardson, Texas, duly passed by the governing body of the City of Richardson on the 5<sup>th</sup> day of June, 1956, as heretofore amended, be, and the same is hereby amended so as to grant a change in zoning from R-1500-M Residential District to PD Planned Development for the R-1500-M Residential District with development regulations for a 45.9294 acre tract of land (Property) located at the northeast corner of N. Coit Road and Melrose Drive, and being more particularly described in Exhibit "A" attached hereto and made a part hereof for all purposes.

**SECTION 2.** That the Property shall be zoned PD Planned Development for the R-1500-M Residential District and shall be developed and used in accordance with the concept plan attached as Exhibit "B" ("Concept Plan"), the building elevations attached as Exhibits "C-1" and "C-2" (the "Building Elevations") which are hereby approved and made a part hereof, and the R-1500-M Residential District zoning regulations, except as provided herein:

1. Base Zoning District: The Property shall be developed and used in accordance with R-1500-M Residential District regulations except as otherwise provided herein.
2. Building Regulations:
  - a. The exterior façade of the Multi-Purpose Activity Center shall be in accordance with the attached Building Elevations. Three-step stucco material may be used for the purpose of calculating masonry material percentages when located above thirty (30) feet in height.
3. Building Height:
  - a. The Multi-Purpose Activity Center shall be limited to a maximum building height of fifty-three (53) feet measured to the top of the roof.
  - b. The maximum building height of all one and two-story buildings, other than the Multi-Purpose Activity Center, shall be forty (40) feet.
  - c. Building heights of existing buildings shall be limited per the Concept Plan. All other structures constructed prior to 2003 that do not comply with the height regulations shall be considered legal conforming structures.
4. Area Regulations
  - a. Parking: A minimum of 992 parking spaces shall be provided, with additional parking provided in the future as the need arises as depicted on the Concept Plan.
  - b. Parking: No new head-in parking shall be allowed adjacent to Melrose Drive.
5. Miscellaneous
  - a. The development submittal package for the Multi-Purpose Activity Center shall only include the area(s) being disturbed for its development and shall be approved by the Director of Development Services, or designee.
  - b. Ordinance Number 3456 adopted on March 22, 2004, granting approval of a Special Permit for a cellular antenna on the Property shall remain in full force and effect.
  - c. Fencing for athletic facilities shall be exempt from the maximum 8' height requirements.
  - d. All existing pole mounted lighting that do not conform with the current height requirements shall be considered legal conforming. Any new lighting installations shall meet the current height regulations of the R-1500-M Residential District regulations.

**SECTION 4.** That the above-described tract of land shall be used in the manner and for the purpose provided for by the Comprehensive Zoning Ordinance of the City of Richardson, Texas, as heretofore amended.

**SECTION 5.** That all other provisions of the ordinances of the City of Richardson in conflict with the provisions of this Ordinance be, and the same are hereby, repealed, and all other provisions of the ordinances of the City of Richardson not in conflict with the provisions of this Ordinance shall remain in full force and effect.

**SECTION 6.** That should any sentence, paragraph, subdivision, clause, phrase or section of this Ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this Ordinance as a whole or any part or provision thereof other than the part so decided to be invalid, illegal or unconstitutional, and shall not affect the validity of the Comprehensive Zoning Ordinance as a whole.

**SECTION 7.** That an offense committed before the effective date of this Ordinance is governed by prior law and the provisions of the Comprehensive Zoning Ordinance, as amended, in effect when the offense was committed and the former law is continued in effect for this purpose.

**SECTION 8.** That any person, firm or corporation violating any of the provisions or terms of this Ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the City of Richardson, as heretofore amended, and upon conviction shall be punished by a fine not to exceed the sum of Two Thousand Dollars (\$2,000.00) for each offense; and each and every day such violation shall continue shall be deemed to constitute a separate offense.

**SECTION 9.** That this Ordinance shall take effect immediately from and after its passage and the publication of the caption, as the law and charter in such case provide.

**DULY PASSED** by the City Council of the City of Richardson, Texas, on the 11th day  
of June, 2018.



**APPROVED:**

  
MAYOR

**APPROVED AS TO FORM:**



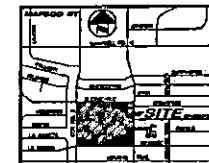
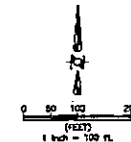
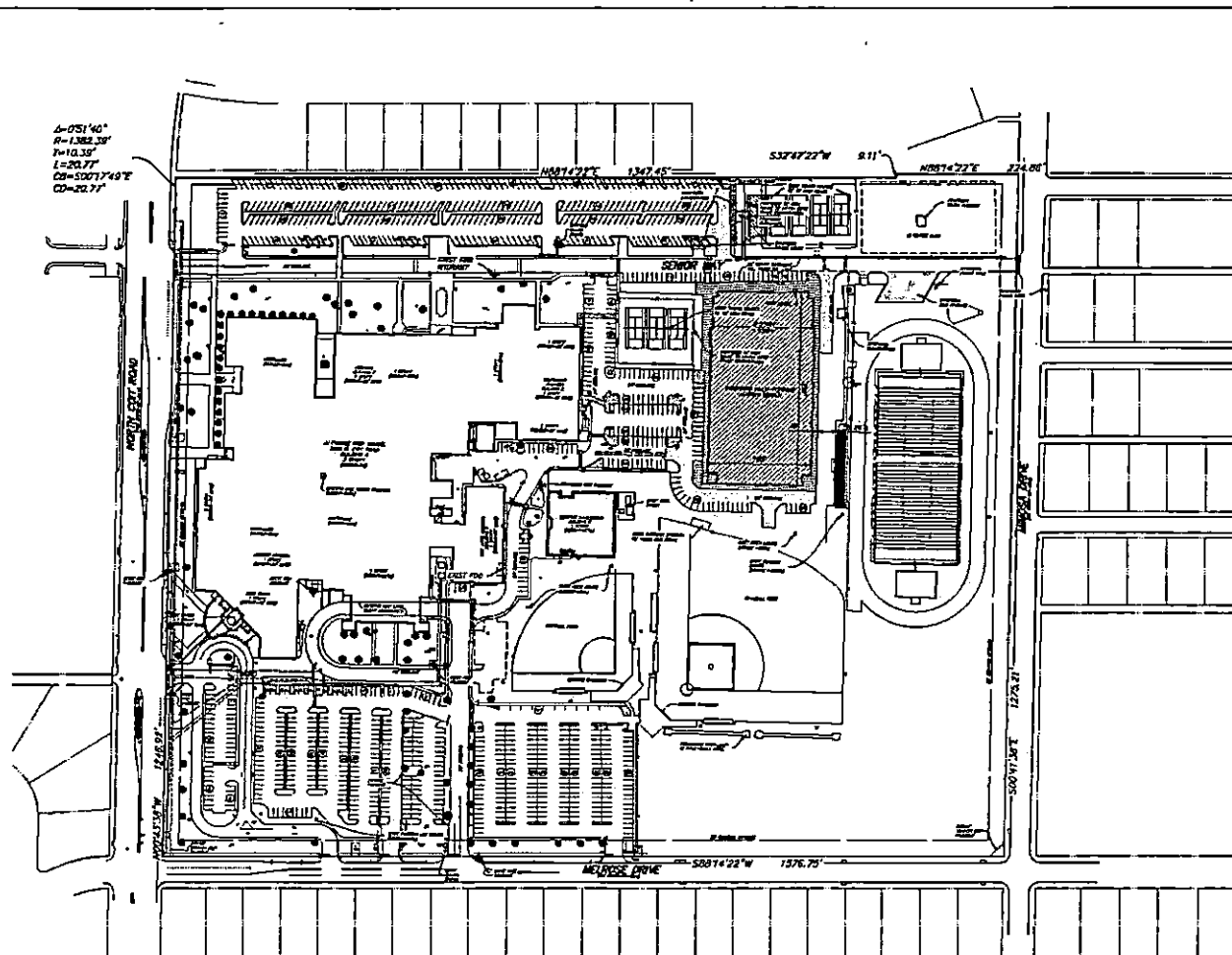
**CITY ATTORNEY**  
(PGS:TM99730)

**CORRECTLY ENROLLED:**

  
CITY SECRETARY

**EXHIBIT "A"**  
**LEGAL DESCRIPTION**  
**ZF 18-11**





LOT 1, BLOCK A, JJ PEARCE ADDITION, an addition to the City of Richardson, Dallas County, Texas, according to the plat thereof recorded in Volume 20003138, Page 00114, Map Records, Dallas County, Texas.



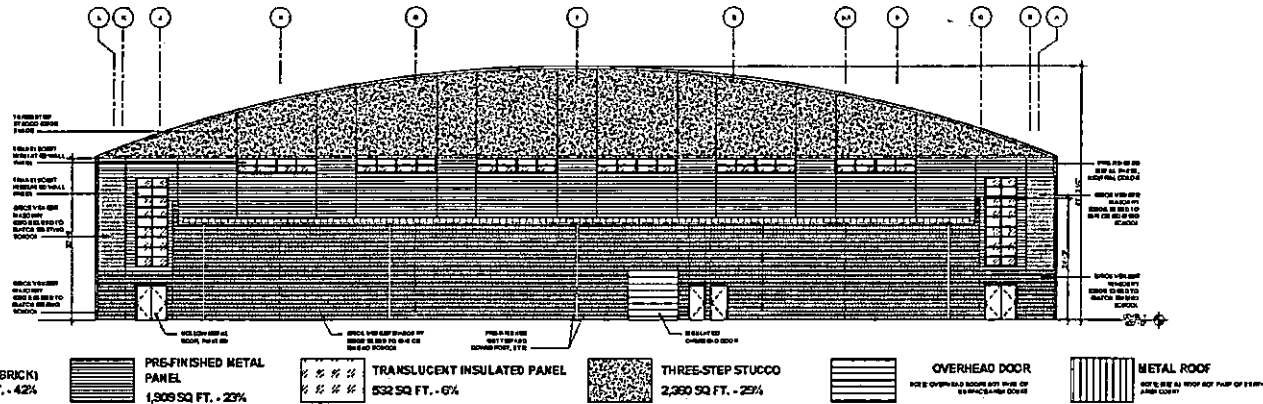
ALL PLANNED HIGH SCHOOL SITE DATA

LEGAL DESCRIPTION	LOT 1, BLOCK A, WYMANE ADDITION	
ADDRESS	1000 N COTT ROAD, NECAPOHOSIN IN	
EXISTING ZONING	R-1500 - M RESIDENTIAL (PERFORMANCE MIN. 1019 AND 3413 W/11 A SPECIAL PERMIT FOR A CELLULAR ANTENNA (PERFORMANCE MIN. 3408))	
PROPOSED ZONING	PD PLANNED DEVELOPMENT - R-1500-M RESIDENTIAL WITH SPECIAL PERMIT FOR A CELLULAR ANTENNA (PERF. MIN. 3408)	
STC AREA	43,829 AC = 2,000,807 S.F.	
EXISTING BLDG AREA	Building A (Main High School)	
	1 <sup>st</sup> Floor	704,937 s.f.
	2 <sup>nd</sup> Floor	138,048 s.f.
	Building B (Nectararium)	14,439 s.f.
	Building C (Library/Arch. Entry Addition)	
	1 <sup>st</sup> Floor	39,880 s.f.
	2 <sup>nd</sup> Floor	24,678 s.f.
	Building D (Fine Arts Addition)	13,887 s.f.
	Building E (Auditorium)	18,708 s.f.
	Building F (Gymnasium Addition)	
	1 <sup>st</sup> Floor	2,332 s.f.
	2 <sup>nd</sup> Floor	853 s.f.
	Existing Subtotal:	446,785 s.f.
PROPOSED BLDG AREA	Building G (Multi-Purpose/Activity Ctr)	81,000 s.f.
	PROPOSED TOTAL:	5,078,283 S.F.
PLANNING PROVIDED	Spencer	991 (3413 + 29 AC Performance)
	Waters Street	79
	FUTURE TOTAL SPACES	1,071
EXISTING LOT COVERAGE	14.13% (408 MAXIMUM ALLOWED)	
PROPOSED LOT COVERAGE	18.17% (408 MAXIMUM ALLOWED)	

**LEGEND**

-  PROPOSED BUILDING ADDITION LIMITS  
 PROPOSED PAVING/PARKING  
 PROPOSED SIDEWALK  
 PROPOSED TENNIS COURT

ZONING EXHIBIT "B"						
JJ PEARCE HIGH SCHOOL						
RISD						
HKS ARCHITECTS						
CITY OF RICHARDSON, TEXAS						
OWNER	GRABER	DATE	SCALE	NOTES	FILE	NO.
PLG	PLG	5/8/78	1"=100'		1813	016
OWNER	1813 C118	C-FILE		DATE	NO.	

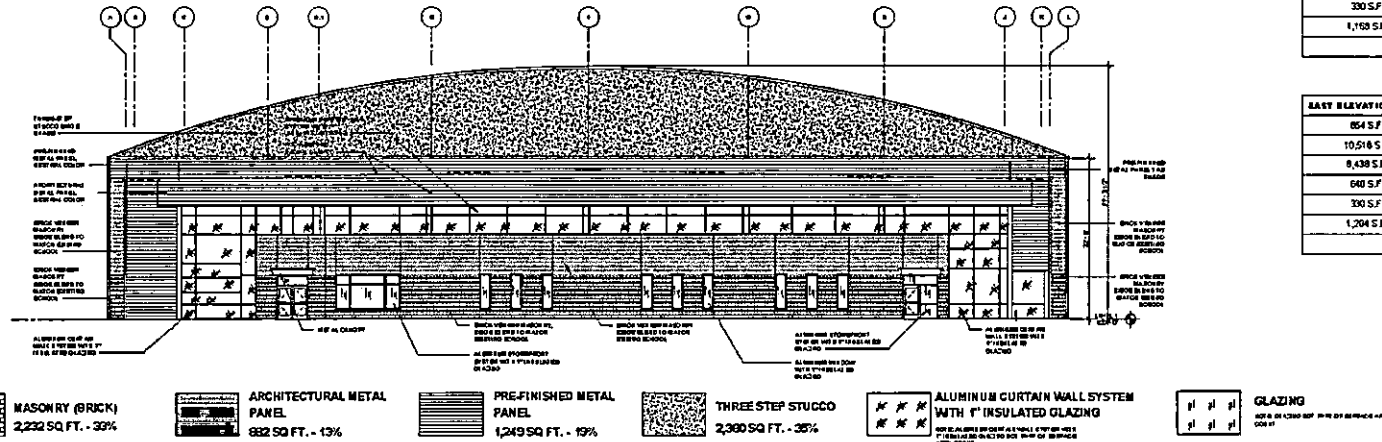


FACADE MATERIAL PERCENTAGES		
SOUTH ELEVATION TOTAL 8,510 S.F.		
241 S.F.	GLAZING & DOORS	
8,269 S.F.	FACADE (LESS GLAZING & DOORS)	100%
3,468 S.F.	MASONRY (BRICK)	42%
1,309 S.F.	PRE-FINISHED METAL PANEL	23%
832 S.F.	TRANSLUCENT INSULATED PANEL	6%
2,360 S.F.	THREE-STEP STUCCO	29%
TOTAL MASONRY (BRICK & STUCCO) = 71%		

NORTH ELEVATION TOTAL 8,636 S.F.		
1,913 S.F.	GLAZING & DOORS	
6,723 S.F.	FACADE (LESS GLAZING & DOORS)	100%
2,232 S.F.	MASONRY (BRICK)	33%
182 S.F.	ARCHITECTURAL METAL PANEL	13%
1,249 S.F.	PRE-FINISHED METAL PANEL	19%
2,360 S.F.	THREE-STEP STUCCO	35%
TOTAL MASONRY (BRICK & STUCCO) = 68%		

WEST ELEVATION TOTAL 11,466 S.F.		
901 S.F.	GLAZING & DOORS	
10,565 S.F.	FACADE (LESS GLAZING & DOORS)	100%
6,427 S.F.	MASONRY (BRICK)	60%
640 S.F.	TRANSLUCENT INSULATED PANEL	6%
300 S.F.	ARCHITECTURAL METAL PANEL	3%
1,198 S.F.	PRE-FINISHED METAL PANEL	11%
TOTAL MASONRY (BRICK & STUCCO) = 60%		

EAST ELEVATION TOTAL 11,466 S.F.		
854 S.F.	GLAZING & DOORS	
10,612 S.F.	FACADE (LESS GLAZING & DOORS)	100%
6,438 S.F.	MASONRY (BRICK)	60%
640 S.F.	TRANSLUCENT INSULATED PANEL	6%
300 S.F.	ARCHITECTURAL METAL PANEL	3%
1,204 S.F.	PRE-FINISHED METAL PANEL	11%
TOTAL MASONRY (BRICK & STUCCO) = 60%		



## JJ PEARCE HIGH SCHOOL MULTI-PURPOSE ACTIVITY CENTER

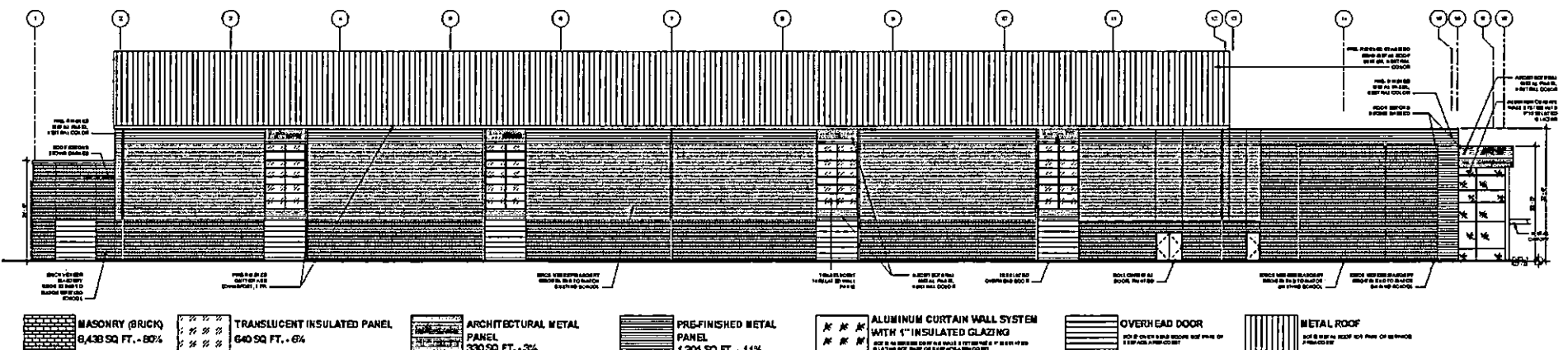
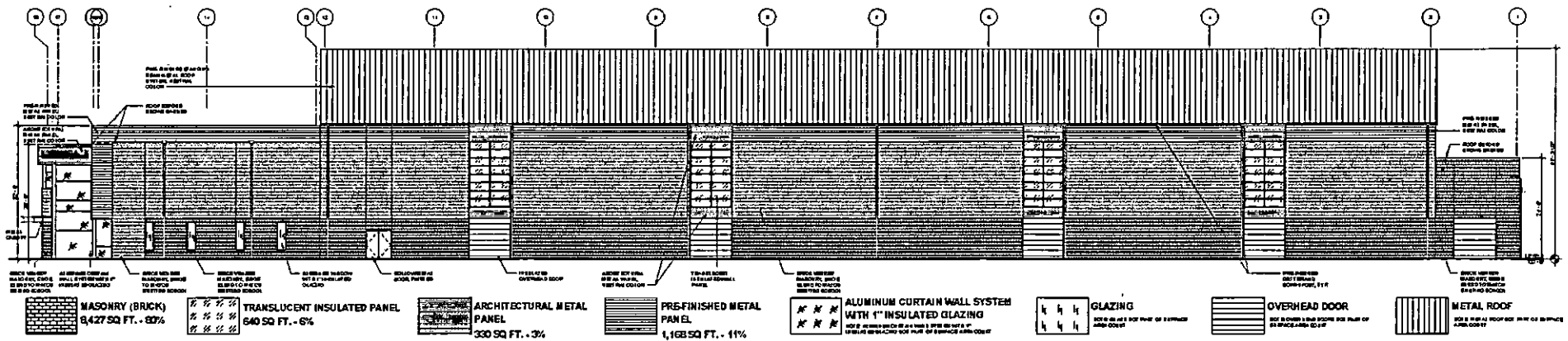
## ZONING EXHIBIT C-1

OWNER: RICHARDSON INDEPENDENT SCHOOL DISTRICT  
400 S. GREENVILLE AVE.  
RICHARDSON, TX 75081

ARCHITECT: HKS, INC.  
350 N. SAINT PAUL ST., SUITE 100  
DALLAS, TX 75201-4240

ELEVATIONS - JJPHS  
00.00.JP 04/24/2018 21091.000

HKS  
CORPORATION



## JJ PEARCE HIGH SCHOOL MULTI-PURPOSE ACTIVITY CENTER

OWNER: RICHARDSON INDEPENDENT SCHOOL DISTRICT  
400 S. GREENVILLE AVE  
RICHARDSON, TX 75081

ARCHITECT: HKS, INC.  
350 N. SAINT PAUL ST., SUITE 100  
DALLAS, TX 75201-4240

## ZONING EXHIBIT C-2

**ELEVATIONS - JPHS**  
SCALE: 1" = 10'  
00.01.JJP 04/24/2019 21091.000

**HKS**  
ARCHITECTS