

**TOWN OF FLOWER MOUND, TEXAS
ORDINANCE NO. 33-22**

AN ORDINANCE OF THE TOWN OF FLOWER MOUND, TEXAS, AMENDING THE OFFICIAL ZONING MAP, EXHIBIT "A" OF SUBPART B, "LAND DEVELOPMENT REGULATIONS," OF THE FLOWER MOUND CODE BY CHANGING THE ZONING ON APPROXIMATELY 6.81 ACRES OF LAND SITUATED IN THE J. WIZWELL SURVEY, ABSTRACT NO. 1346, FROM SF-E SINGLE FAMILY ESTATE DISTRICT AND A AGRICULTURAL DISTRICT USES TO PLANNED DEVELOPMENT DISTRICT-186 (PD-186) WITH R-2 RETAIL DISTRICT-2 (R-2) AND O OFFICE DISTRICT USES IN ACCORDANCE WITH THE TOWN'S MASTER PLAN AND SPECIFIC REQUIREMENTS AND EXHIBITS INCORPORATED HEREIN; PROVIDING THIS ORDINANCE SHALL BE CUMULATIVE OF ALL ORDINANCES; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A PENALTY CLAUSE; PROVIDING A SAVINGS CLAUSE; PROVIDING FOR PUBLICATION; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Town of Flower Mound is a home rule municipality acting under its charter adopted by the electorate pursuant to Article XI, Section 5, of the Texas Constitution and Chapter 9 of the Local Government Code; and,

WHEREAS, the Town Council of the Town of Flower Mound heretofore adopted the Land Development Regulations of the Town of Flower Mound, as amended, which ordinance regulates and restricts the location and use of buildings, structures, and land for trade, industry, residence, and other purposes, and provides for the establishment of zoning districts of such number, shape, and area as may be best suited to carry out these regulations; and,

WHEREAS, in accordance with Chapter 78 of the Land Development Regulations, the owners of the property described as approximately 6.81 acres of land situated in the J. Wizwell Survey, Abstract No. 1346, Denton County, Texas, have filed an application to change the zoning from SF-E Single Family Estate District and A Agricultural District uses to Planned Development District-186 (PD-186) with R-2 Retail District-2 and O Office District uses; and,

WHEREAS, the Planning and Zoning Commission of the Town of Flower Mound, Texas, held a public hearing on June 13, 2022, and the Town Council of the Town of Flower Mound, Texas, held a public hearing on June 20, 2022, with respect to the proposed rezoning as described herein; and,

WHEREAS, the Town has complied with all requirements of Chapter 211 of the Local Government Code, Chapter 78 of the Land Development Regulations, and all other laws dealing with notice, publication, and procedural requirements for the approval of a rezoning on the property; and,

WHEREAS, the Town Council finds that amendment of the Zoning Map as outlined herein is in the best interest of the Town of Flower Mound and will promote the health, safety, and general welfare of the citizens of the Town of Flower Mound and the general public;

NOW THEREFORE, BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF FLOWER MOUND, TEXAS, THAT:

SECTION 1

The Land Development Regulations of the Town of Flower Mound, Texas, as amended, are hereby amended on the hereinafter described property and area to establish a Planned Development District as shown below:

Approximately 6.81 acres of land situated in the J. Wizwell Survey, Abstract No. 1346, Denton County, Texas, and more fully described in Exhibit "A" attached hereto.

Planned Development District-186 (PD-186) with R-2 Retail District-2 and O Office District uses.

SECTION 2

The Development Standards, Conceptual Site Plan, Conceptual Landscape Plan, and Conceptual Elevations of the proposed Planned Development District No. 186 (PD-186), attached hereto as Exhibits "B," "C," "D," and "E" each incorporated herein for all purposes allowed by law, are hereby approved as the Development Standards, Conceptual Site Plan, Conceptual Landscape Plan, and Conceptual Elevations for this Planned Development District No. 186 (PD-186).

SECTION 3

The official Zoning Map of the Town of Flower Mound is hereby amended, and the Director of Planning Services is directed to revise the official Zoning Map to reflect the approved Planned Development District No. 186 (PD-186), as set forth above.

SECTION 4

The use of the property described above shall be subject to all restrictions, terms, and conditions contained in Exhibits "B," "C," "D," and "E" attached hereto, as well as the applicable regulations contained in the Land Development Regulations and all other applicable and pertinent ordinances of the Town of Flower Mound.

SECTION 5

This Ordinance shall be cumulative of all provisions of ordinances and of the Flower Mound Code as amended, except when the provisions of this Ordinance are in direct conflict with the provisions of such ordinances and such code, in which event the conflicting provisions of such ordinances and such code are hereby repealed.

SECTION 6

It is hereby declared to be the intention of the Town Council that the sections, paragraphs, sentences, clauses, and phrases of this Ordinance are severable, and if any section, paragraph, sentence, clause, or phrase of this Ordinance shall be declared unconstitutional by the valid judgment or decree of any court of competent jurisdiction, such unconstitutionality shall not affect any of the remaining sections, paragraphs, sentences, clauses, and phrases of this Ordinance, since the same would have been enacted by the Town Council without the incorporation in this Ordinance of any such unconstitutional section, paragraph, sentence, clause, or phrase.

SECTION 7

Any person, firm, or corporation who violates any provision of this Ordinance as adopted by the Town Council of the Town of Flower Mound shall be deemed guilty of a misdemeanor and, upon conviction thereof, shall be punished by a fine as provided in Section 1-13 of the Flower Mound Code. Each day any such violation or violations exist shall constitute a separate offense and shall be punishable as such.

SECTION 8

All rights and remedies of the Town of Flower Mound are expressly saved as to any and all violations of the provisions of the Land Development Regulations or any ordinances governing zoning that have accrued at the time of the effective date of this Ordinance; and, as to such accrued violations and all pending litigation, both civil and criminal, whether pending in court or not, under such ordinances, same shall not be affected by this Ordinance but may be prosecuted until final disposition by the courts.

SECTION 9

The Town Secretary of the Town of Flower Mound is hereby directed to publish the caption in the official newspaper of the Town of Flower Mound as required by Section 3.07 of the Charter of the Town of Flower Mound.

SECTION 10

This Ordinance shall take effect and be in full force from and after the date of its passage and publication as required by law, and it is so ordained.

DULY PASSED AND APPROVED BY THE TOWN COUNCIL OF THE TOWN OF FLOWER MOUND, TEXAS, BY A VOTE OF 5 TO 0, ON THIS THE 20TH DAY OF JUNE, 2022.

APPROVED:

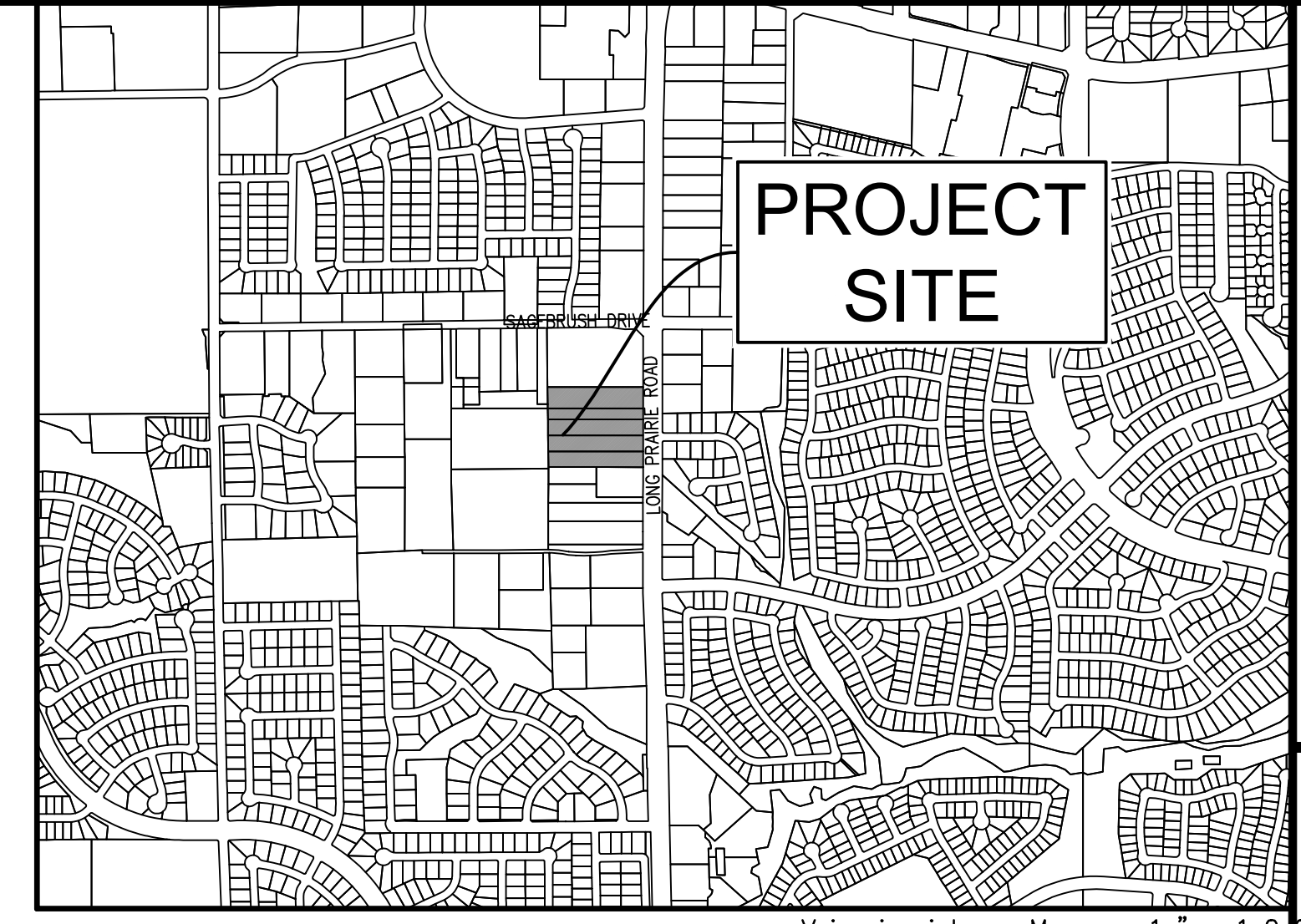
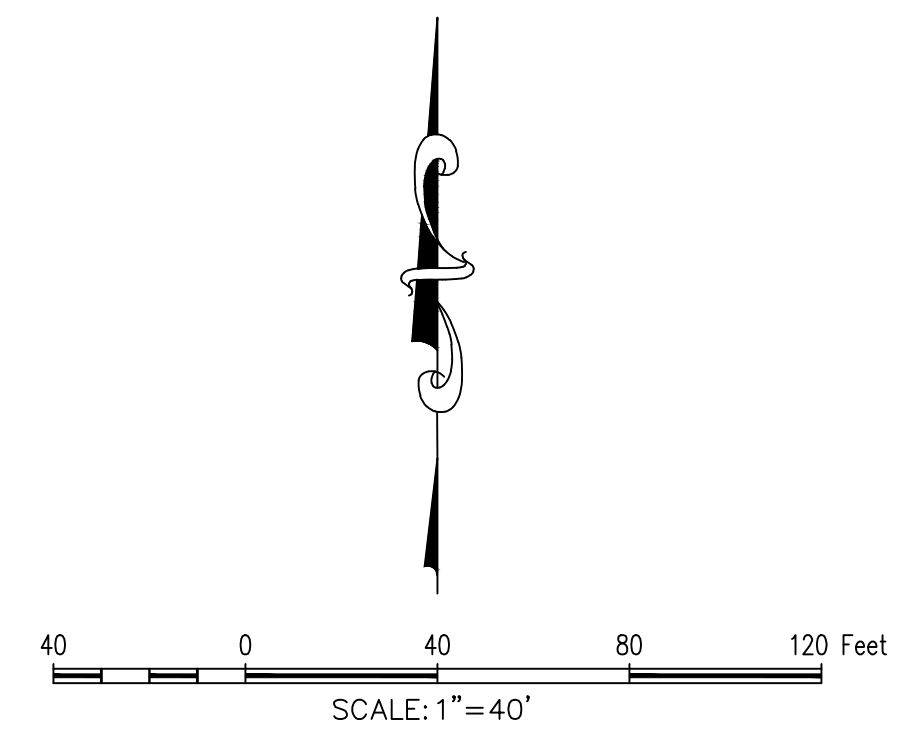
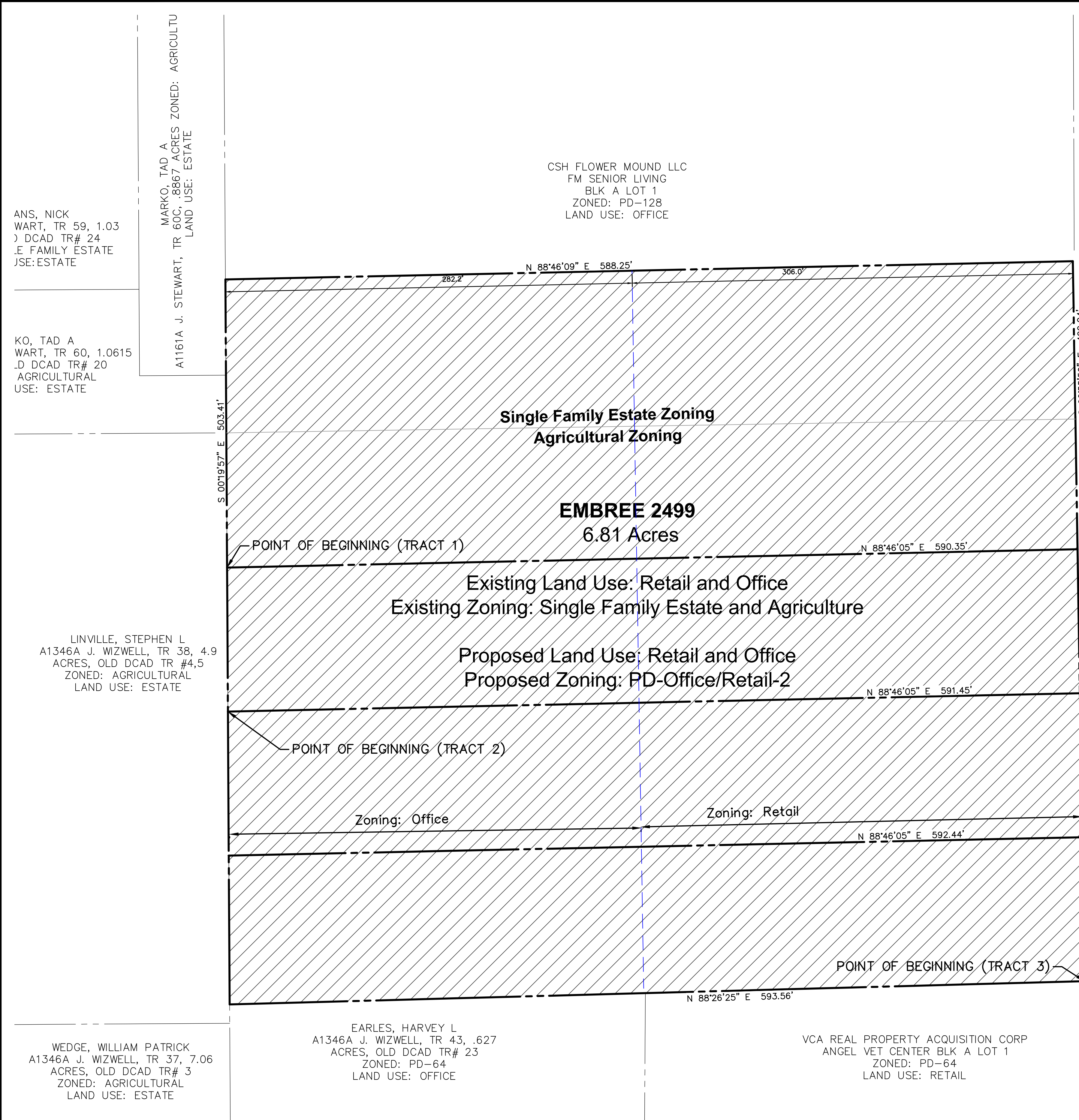


Derek France, MAYOR

ATTEST:



Theresa Scott, TOWN SECRETARY



TRACT 1
LEGAL DESCRIPTION
4.062 ACRES

BEING all that certain lot, tract, or parcel of land, situated in the J. Wizwell Survey, Abstract Number 1346, Town of Flower Mound, Denton County, Texas, and being all that certain tract of land, described by deed to Imer & Sebian Bardhi, recorded in Document Number 2006-58316, Deed Records, Denton County, Texas, and being more particularly described as follows:

COMMENCING at a 1/2" capped rebar found at the southeast corner of a certain tract of land, described by deed to Rodgers Living Trust & Nishendu Vasavada & Bela Vasavada, recorded in Document Number 2014-116754, Deed Records, Denton County, Texas, and being in the west right-of-way line of FM 2499 (Long Prairie Road, called 120' right-of-way);

THENCE S 88°26'25" W, with the south line of said Rodgers Living Trust tract, passing the northeast corner of Lot 1, Block A, Angel Vet Center, an addition to the Town of Flower Mound, according to the plat thereof, recorded in Document Number 2007-46905, Plat Records, Denton County, Texas, at a distance of 2.56 feet, continuing a distance of 304.87 feet to a 1/2" capped rebar found, at the northwest corner thereof, same being the most northerly northeast corner of a certain tract of land described by deed to Harvey L. Earles, recorded in Document Number 2003-16340, Deed Records, Denton County, Texas, continuing a total distance of 593.56 feet to a 1/2" capped rebar set, stamped "MCADAMS", at the northwest corner thereof, same being the southwest corner of said Rodgers Living Trust tract, same being the northeast corner of a certain tract of land, described by deed to William Patrick Wedge, recorded in Document Number 2016-36297, Deed Records, Denton County, Texas, and being the southeast corner of a certain tract of land, described by deed to Stephen Linville, recorded in Volume 2694, Page 701, Deed Records, Denton County, Texas;

THENCE N 00°19'57" W, with the east line of said Linville tract, and the west line of said Rodgers Living Trust tract, passing at a distance of 103.36 feet, the northwest corner thereof, same being the southwest corner of a certain tract of land, described by deed to Nishendu M. Vasavada & Ramesh P. Vasani tract, recorded in Volume 1930, Page 250, Deed Records, Denton County, Texas, continuing a total distance of 203.37 feet to the POINT OF BEGINNING, at a 1/2" capped rebar set, stamped "MCADAMS", being the northwest corner of said Vasani tract, same being the southwest corner of said Bardhi tract, and being in the east line of said Linville tract;

THENCE N 00°19'57" W, with the east line of said Linville tract, and the west line of said Bardhi tract, a distance of 300.04 feet to a 1/2" capped rebar set, stamped "MCADAMS", at the northwest corner thereof, same being the northeast corner of said Linville tract, same being the southwest corner of Lot 1, Block A, FM Senior Living, an addition to the Town of Flower Mound, according to the plat thereof, recorded in Document Number 2014-202, Plat Records, Denton County, Texas, and being the southeast corner of a certain tract of land, described by deed to Tad A. Marko, recorded in Document Number 1993-65535, Deed Records, Denton County, Texas;

TRACT 2
LEGAL DESCRIPTION
1.359 ACRES

BEING all that certain lot, tract, or parcel of land, situated in the J. Wizwell Survey, Abstract Number 1346, Town of Flower Mound, Denton County, Texas, and being all that certain tract of land, described by deed to Nishendu M. Vasavada & Ramesh P. Vasani tract, recorded in Volume 1930, Page 250, Deed Records, Denton County, Texas, and being more particularly described as follows:

COMMENCING at a 1/2" capped rebar found at the southeast corner of a certain tract of land, described by deed to Rodgers Living Trust & Nishendu Vasavada & Bela Vasavada, recorded in Document Number 2014-116754, Deed Records, Denton County, Texas, and being in the west right-of-way line of FM 2499 (Long Prairie Road, called 120' right-of-way);

THENCE S 88°26'25" W, with the south line of said Rodgers Living Trust tract, passing the northeast corner of Lot 1, Block A, Angel Vet Center, an addition to the Town of Flower Mound, according to the plat thereof, recorded in Document Number 2007-46905, Plat Records, Denton County, Texas, at a distance of 2.56 feet, continuing a distance of 304.87 feet to a 1/2" capped rebar found, at the northwest corner thereof, same being the most northerly northeast corner of a certain tract of land described by deed to Harvey L. Earles, recorded in Document Number 2003-16340, Deed Records, Denton County, Texas, continuing a total distance of 593.56 feet to a 1/2" capped rebar set, stamped "MCADAMS", at the northwest corner thereof, same being the southwest corner of said Rodgers Living Trust tract, same being the northeast corner of a certain tract of land, described by deed to William Patrick Wedge, recorded in Document Number 2016-36297, Deed Records, Denton County, Texas, and being the southeast corner of a certain tract of land, described by deed to Stephen Linville, recorded in Volume 2694, Page 701, Deed Records, Denton County, Texas;

THENCE N 00°19'57" W, with the east line of said Linville tract, and the west line of said Rodgers Living Trust tract, a distance of 103.36 feet to the POINT OF BEGINNING, being a 1/2" capped rebar set, stamped "MCADAMS" at the northwest corner thereof, same being the southwest corner of said Vasani tract, and being in the east line of said Linville tract;

THENCE N 00°19'57" W, with the east line of said Linville tract, and the west line of said Vasani tract, a distance of 100.01 feet to a 1/2" capped rebar set, stamped "MCADAMS", at the northwest corner thereof, same being the southeast corner of a certain tract of land, described by deed to Imer & Sebian Bardhi, recorded in Document Number 2006-58316, Deed Records, Denton County, Texas, and being in the east line of said Linville tract;

THENCE N 88°46'05" E, with the north line of said Vasani tract, and the south line of said Bardhi tract, a distance of 591.40 feet, to a 1/2" capped rebar set, stamped "MCADAMS" at the southeast corner thereof, same being the northeast corner of said Vasani tract, and being in the west line of FM 2499, from which a 1/2" capped rebar found, stamped "SJ&F", bears N 00°55'59" W, 100.00 feet;

THENCE S 00°55'59" E, with the east line of said Vasani tract, and the west line of FM 2499, a distance of 100.00 feet to a 1/2" capped rebar set, stamped "MCADAMS", at the southeast corner of said Vasani tract, same being the northeast corner of said Rodgers Living Trust tract, and being in the west line of said FM 2499;

THENCE S 88°46'05" W, with the south line of said Vasani tract, and the north line of said Rodgers Living Trust tract, a distance of 592.45 feet to the POINT OF BEGINNING and containing approximately 1.359 acres of land.

TRACT 3
LEGAL DESCRIPTION
1.384 ACRES

BEING all that certain lot, tract, or parcel of land, situated in the J. Wizwell Survey, Abstract Number 1346, Town of Flower Mound, Denton County, Texas, and being all that certain tract of land, described by deed to Rodgers Living Trust & Nishendu Vasavada & Bela Vasavada, recorded in Document Number 2014-116754, Deed Records, Denton County, Texas, and being more particularly described as follows:

COMMENCING at a 1/2" capped rebar found at the southeast corner of a certain tract of land, described by deed to Rodgers Living Trust & Nishendu Vasavada & Bela Vasavada, recorded in Document Number 2014-116754, Deed Records, Denton County, Texas, and being in the west right-of-way line of FM 2499 (Long Prairie Road, called 120' right-of-way);

THENCE S 88°26'25" W, with the south line of said Rodgers Living Trust tract, passing the northeast corner of Lot 1, Block A, Angel Vet Center, an addition to the Town of Flower Mound, according to the plat thereof, recorded in Document Number 2007-46905, Plat Records, Denton County, Texas, at a distance of 2.56 feet, continuing a distance of 304.87 feet to a 1/2" capped rebar found, at the northwest corner thereof, same being the most northerly northeast corner of a certain tract of land described by deed to Harvey L. Earles, recorded in Document Number 2003-16340, Deed Records, Denton County, Texas, continuing a total distance of 593.56 feet to a 1/2" capped rebar set, stamped "MCADAMS", at the northwest corner thereof, same being the southwest corner of said Rodgers Living Trust tract, same being the northeast corner of a certain tract of land, described by deed to William Patrick Wedge, recorded in Document Number 2016-36297, Deed Records, Denton County, Texas, and being the southeast corner of a certain tract of land, described by deed to Stephen Linville, recorded in Volume 2694, Page 701, Deed Records, Denton County, Texas;

THENCE N 00°19'57" W, with the east line of said Linville tract, and the west line of said Rodgers Living Trust tract, a distance of 103.36 feet to the POINT OF BEGINNING, being a 1/2" capped rebar set, stamped "MCADAMS" at the northwest corner thereof, same being the southwest corner of said Vasani tract, and being in the east line of said Linville tract;

THENCE N 00°19'57" W, with the east line of said Linville tract, and the west line of said Vasani tract, a distance of 100.01 feet to a 1/2" capped rebar set, stamped "MCADAMS", at the northwest corner thereof, same being the southeast corner of a certain tract of land, described by deed to Imer & Sebian Bardhi, recorded in Document Number 2006-58316, Deed Records, Denton County, Texas, and being in the east line of said Linville tract;

THENCE N 88°46'05" E, with the north line of said Vasani tract, and the south line of said Bardhi tract, a distance of 591.40 feet, to a 1/2" capped rebar set, stamped "MCADAMS" at the southeast corner thereof, same being the northeast corner of said Vasani tract, and being in the west line of FM 2499, from which a 1/2" capped rebar found, stamped "SJ&F", bears N 00°55'59" W, 100.00 feet;

THENCE S 00°55'59" E, with the east line of said Vasani tract, and the west line of FM 2499, a distance of 100.00 feet to a 1/2" capped rebar set, stamped "MCADAMS", at the southeast corner of said Vasani tract, same being the northeast corner of said Rodgers Living Trust tract, and being in the west line of said FM 2499;

THENCE S 88°46'05" W, with the south line of said Vasani tract, and the north line of said Rodgers Living Trust tract, a distance of 592.45 feet to the POINT OF BEGINNING and containing approximately 1.359 acres of land.

TRACT 3
LEGAL DESCRIPTION
1.384 ACRES

BEING all that certain lot, tract, or parcel of land, situated in the J. Wizwell Survey, Abstract Number 1346, Town of Flower Mound, Denton County, Texas, and being all that certain tract of land, described by deed to Rodgers Living Trust & Nishendu Vasavada & Bela Vasavada, recorded in Document Number 2014-116754, Deed Records, Denton County, Texas, and being more particularly described as follows:

COMMENCING at a 1/2" capped rebar found at the southeast corner of said Rodgers Living Trust tract, and being in the west right-of-way line of FM 2499 (Long Prairie Road, called 120' right-of-way);

THENCE S 88°26'25" W, with the south line of said Rodgers Living Trust tract, passing the northeast corner of Lot 1, Block A, Angel Vet Center, an addition to the Town of Flower Mound, according to the plat thereof, recorded in Document Number 2007-46905, Plat Records, Denton County, Texas, at a distance of 2.56 feet, continuing a distance of 304.87 feet to a 1/2" capped rebar found, at the northwest corner thereof, same being the most northerly northeast corner of a certain tract of land described by deed to Harvey L. Earles, recorded in Document Number 2003-16340, Deed Records, Denton County, Texas, continuing a total distance of 593.56 feet to a 1/2" capped rebar set, stamped "MCADAMS", at the northwest corner thereof, same being the southwest corner of said Rodgers Living Trust tract, same being the northeast corner of a certain tract of land, described by deed to William Patrick Wedge, recorded in Document Number 2016-36297, Deed Records, Denton County, Texas, and being the southeast corner of a certain tract of land, described by deed to Stephen Linville, recorded in Volume 2694, Page 701, Deed Records, Denton County, Texas;

THENCE N 00°19'57" W, with the east line of said Linville tract, and the west line of said Rodgers Living Trust tract, a distance of 103.36 feet to a 1/2" capped rebar set, stamped "MCADAMS" at the northwest corner thereof, same being the southwest corner of a certain tract of land, described by deed to Nishendu M. Vasavada & Ramesh P. Vasani tract, recorded in Volume 1930, Page 250, Deed Records, Denton County, Texas, and being in the east line of said Linville tract;

THENCE N 88°46'05" E, with the north line of said Rodgers Living Trust tract, and the south line of said Vasani tract, a distance of 592.45 feet to a 1/2" capped rebar set, stamped "MCADAMS", at the southeast corner thereof, same being the northeast corner of said Rodgers Living Trust tract, and being in the west line of FM 2499, from which a 1/2" capped rebar found, stamped "SJ&F", bears N 00°55'59" W, 200.00 feet;

THENCE S 00°55'59" E, with the east line of said Rodgers Living Trust tract, and the west line of FM 2499, a distance of 99.95 feet to the POINT OF BEGINNING and containing approximately 1.284 acres of land.

Development Standard	Required		Provided	
	Office	Retail-2	Office	Retail-2
Min. Lot Size	N/A	N/A	N/A	N/A
Min. Lot Width	N/A	N/A	N/A	N/A
Min. Area/Unit	N/A	N/A	N/A	N/A
Min. Front Yard	N/A	N/A	60'	60'
Min. Side Yard	N/A	N/A	N/A	N/A
Min Rear Yard	15'	15'	15'	15'
Max. Lot Coverage	50%	50%	50%	50%
Max. Height (Stories/Ft)	3 stories or 35'	2 stories or 35'	1 story or 35'	3 stories or 35'

OWNER/DEVELOPER
Jerry Frazier
Embree Development Group,
Ph. 512.819.4746
Contact: Jerry Frazier

The John R. McAdams Company, Inc.
111 Hillside Drive
Lewisville, Texas 75057
972.435.9712
201 Country View Drive
Rockwall, Texas 75087
940.240.1012
TBP# 19762 TBP#S: 10194440
www.mcadamsco.com

MCADAMS

EMBREE 2499
TRACTS 18, 19, 21, 24
6.81 Acres
in the
J. STEWART & J. WIZWELL SURVEY, ABSTRACT NO. A1161A A1346A
DENTON COUNTY, TEXAS

Zoning Exhibit

PRELIMINARY PLANS
THIS DOCUMENT IS FOR INTERIM REVIEW AND IS NOT INTENDED FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES. THE JOHN R. MCADAMS COMPANY, INC. TBP# 19762 JOSHUA M. BARTON, P.E. #129227 DATE 5/18/2022

Drawn By: PF
Date: 6/15/2021
Scale: 1" = 40'
Revisions:
September 17, 2021
March 11, 2022
Revisions: 5/18/2022

2020310385

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EXHIBIT B
DEVELOPMENT STANDARDS
PLANNED DEVELOPMENT DISTRICT – (PD-186)
EMBREE 2499

The development of the property comprising approximately 6.81-acres of land within the corporate limits of the Town of Flower Mound (“Town”) shall be in accordance with the Town of Flower *Master Plan* and the Land Development Regulations of the Town of Flower Mound, Texas, as amended, and shall be subject to the following conditions and requirements:

I. EXHIBITS.

1. The following Exhibits are incorporated into this planned development.
 - a. Exhibit “C:” Conceptual Plan.
 - b. Exhibit “D:” Conceptual Landscape Plan.
 - c. Exhibit “E:” Conceptual Elevations.

II. R-2 Retail District-2

Development of the R-2 Retail District-2 area designated on Exhibit “C,” comprising of approximately 4.01 gross acres, and extending approximately 3.6-feet west from the existing Long Prairie Road right of way, shall be in compliance with all regulations applicable to the R-2 Retail District-2 uses contained in the Town’s Land Development Regulations as amended, except as otherwise provided in this Ordinance.

- A. PERMITTED USES. The uses listed as Permitted Uses in R-2 Retail District-2 in the Town’s Ordinance may be permitted in the areas designated on Exhibit “C” in accordance with Section 98-602 of the Land Development Code, “Permitted Uses.”
- B. SPECIFIC USES. The uses listed as Specific Uses in R-2 Retail District-2 in the Town’s Ordinance may be permitted with a Specific Use Permit (SUP) approved by the Town Council in the areas designated on Exhibit “C” in accordance with Section 98-603 of the Land Development Code, “Specific Uses.”
- C. TEMPORARY USES. The uses listed as Temporary Uses in R-2 Retail District-2 in the Town’s Ordinance may be permitted in the areas designated on Exhibit “C” upon approval of a Temporary Use Permit in accordance with Section 98-604 of the Land Development Code, “Temporary Uses.”

III. O Office District

Development of the O Office District area designated on Exhibit “C,” comprising of approximately 2.8 gross acres, and extending approximately 282.2-feet east from the western property line, shall be in compliance with all regulations applicable to the O Office District uses contained in the Town’s Land Development Regulations as amended, except as otherwise provided in this Ordinance.

- A. PERMITTED USES. The uses listed as Permitted Uses in O Office District in the Town’s Ordinance may be permitted in the areas designated on Exhibit “C” in accordance with Section 98-542 of the Land Development Code, “Permitted Uses.”

- B. SPECIFIC USES. The uses listed as Specific Uses in O Office District in the Town's Ordinance may be permitted with a Specific Use Permit (SUP) approved by the Town Council in the areas designated on Exhibit "C" in accordance with Section 98-543 of the Land Development Code, "Specific Uses."
- C. TEMPORARY USES. The uses listed as Temporary Uses in O Office District in the Town's Ordinance may be permitted in the areas designated on Exhibit "C" upon approval of a Temporary Use Permit in accordance with Section 98-544 of the Land Development Code, "Temporary Uses."
- D. DIMENSIONAL REGULATIONS. The dimensions listed in Section 98-545 of the Town's Zoning Ordinance shall apply in areas designated O Office District as designated on Exhibit "C," except as indicated below.
 - a. The height of the building shall be limited to one story or 35-feet, subject to Section 98-1031.

IV. Development Regulations - (R-2 Retail District-2 & O Office District)

A. CONCEPTUAL PLAN.

- 1. Site plan shall substantially comply with the approved Conceptual Plan, Exhibit "C."
- 2. Cross access and cross parking across all lots, except as listed below shall be provided.
 - a. All required parking for Building 1 shall be provided on-site and shall not have cross parking.
- 3. At the time of first plat application for this Planned Development, a 'Shared Parking Irrevocable Agreement Form' provided by the Town shall be executed and recorded at the County Office.

B. LANDSCAPE STANDARDS.

- 1. Landscape shall substantially comply with the approved Conceptual Landscape Plan (Exhibit "D") and shall be in accordance with the Town's Landscape Ordinance, as amended.
- 2. A compatibility buffer shall be provided and comply with Section 82-302 of the Town's Zoning Ordinance along the western property line of the area designated as O Office District on Exhibit "C."
- 3. A compatibility setback shall be provided and comply with Section 82-303 of the Town's Zoning Ordinance along the western property line of the area designated as O Office District on Exhibit "C."
- 4. All open space amenities shall be placed in accordance with the Conceptual Landscape Plan (Exhibit "D") within the two areas called out as "Amenity Area" on the Conceptual Plan (Exhibit "C") and in the amount as listed below:
 - b. Three (3) picnic tables; and
 - c. Four (4) seating benches.
- 5. A six-foot (6') masonry wall shall be installed along the entire length of the northern property line adjacent to the Assisted Living and Memory Care facility except where

driveways cross the property line and where landscape buffers are required along the eastern and western property lines.

C. ARCHITECTURAL STANDARDS.

1. Elevations shall comply with the approved Conceptual Elevations, Exhibit "E."
2. Buildings shall use a combination of brick, stone, and stucco as a primary masonry material.
3. The Town's Urban Design Plan shall apply to this Planned Development.

Elevations of each restaurant, fast food building shall not be required at the time of initial adoption of Planned Development-186. Instead, each restaurant, fast food building must submit an application for amendment to Planned Development-186 prior to Site Plan application for the approval of Conceptual Elevations, as well as any substantial changes to the Conceptual Plan or exception requests to the Urban Design Plan ("UDP") requirements.

D. SUPPLEMENTARY STANDARDS.

1. Split Zoning: The Conceptual Plan, Exhibit "C," depicts split zoning for lots containing Building 1, Building 2, and Building 3. A major portion of the three lots fronting on to Long Prairie Road have R-2 Retail District-2 zoning with a small portion of O Office District zoning at the western boundary of these three lots. These lots that have split zoning shall be subject to the following conditions:
 - a. No portion of the building, drive-thru lanes, shade structures, or menu boards shall cross over to the O Office District zoned area.
 - b. Parking spaces and escape lanes may cross zoning district boundaries.
2. Hours of Operation: 24-hour operations shall be prohibited for any use within this Planned Development, excluding Building 1. Deliveries shall be prohibited between the hours of 7:00 p.m. – 7:00 a.m.
3. Lighting: Lighting measured at the northern and western property line shall not exceed four-tenths of one footcandle and shall be shielded.
4. Speakers: Speakers for Building 1 shall not be oriented north, facing the Assisted Living and Memory Care facility.
5. Lot 1/Building 1 shall have no outside patio or amplified sound except for the order boards.
6. At the time of Site Plan application, a queuing and stacking analysis shall be submitted as required per Section 82-82, "Queuing requirements for drive-through facilities."

E. PHASING & MAINTENANCE. The development of the site will proceed as indicated below.

1. The first phase of Planned Development shall include the following:

- a. Landscaped areas along Long Prairie Road (FM 2499) and compatibility buffers along the western property line;
 - b. Six-foot (6') masonry wall along the northern property line;
 - c. All perimeter sidewalks and Town trail connectivity;
 - d. Wet detention ponds;
 - e. Fire lanes, median cuts, turn lanes, and curb cuts to support the development; and
 - f. A thirty-one-foot (31') Mutual Access Easement (Spine Road) connecting the northern and southern properties and parallel to Long Prairie Road (FM 2499). This 31-foot Mutual Access Easement shall connect into the constructed Mutual Access Easement to the northern property line of the Planned Development.
2. A certificate of occupancy shall not be issued to the first building until Phase 1, as mentioned above is completed.
 3. At the time of first plat application, a Property Owners Association (POA) shall be established to maintain landscaping and compatibility buffers, masonry wall, sidewalks, retention ponds, and Town trail.

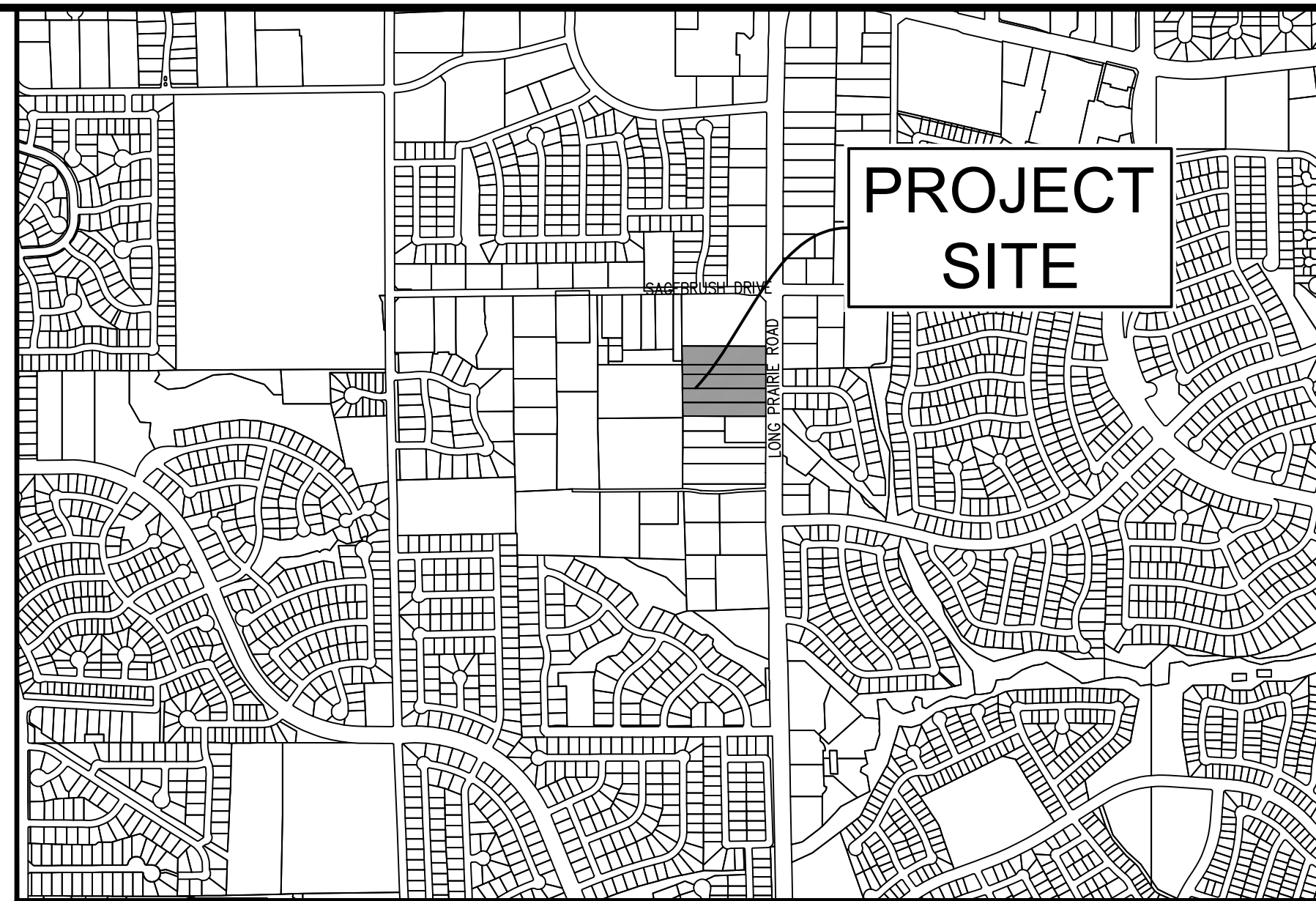
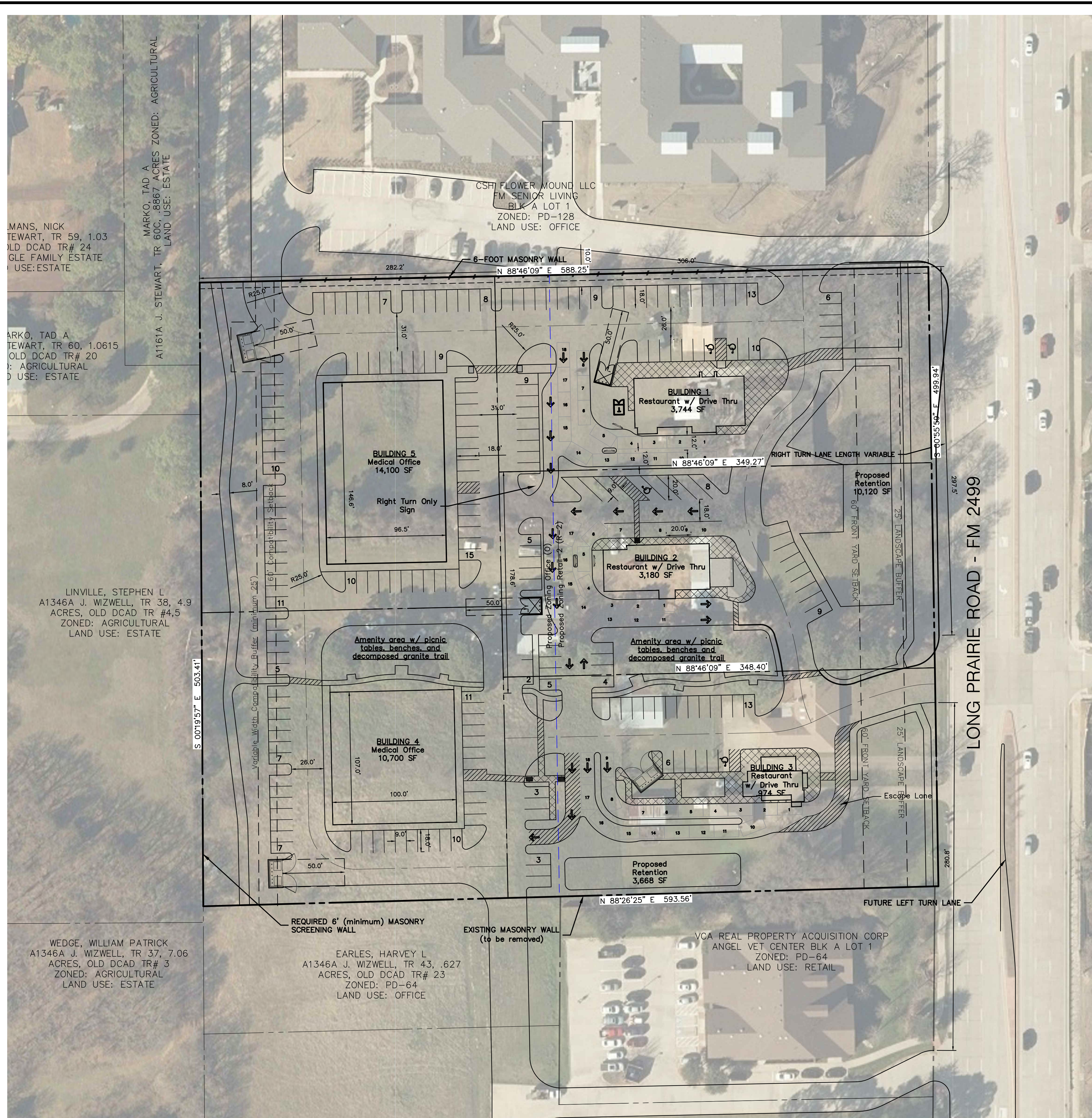
F. EXCEPTIONS. The following exceptions shall apply to this Planned Development.

1. Driveway Spacing Exception: An exception to the access management policy and criteria regarding driveway spacing contained in the Town's Engineering Design Criteria and Construction Standards adopted through Chapter 32 of the Code of Ordinances to allow the proposed driveway to be located approximately 300.9-feet from an existing driveway to the north and approximately 280.8-feet from an existing driveway to the south. The second exception will no longer be necessary once the property to the immediate south develops, and the Angel Vet driveway is removed.

G. SIGNAGE STANDARDS.

1. Chapter 86 of the Town's Code shall apply to this Planned Development.

EXHIBIT "C" - CONCEPTUAL PLAN



Vicinity Map 1"=1000'

SITE DATA TABLE	
Physical Address:	3025, 3101, 3125, 3175, 3201 Long Prairie Rd
Gross Site Area:	6.81 A; 296,643 SF
Current Zoning:	Single Family Estate and Agriculture
Current Use:	Residential
Lot Coverage Data:	
Building Coverage:	11%
Impervious Area:	46%
Pervious Area:	43%
Parking Summary:	
	Required Provided
	235 215

Zoning Standard	Existing SFE & AO	Proposed PD W/ R-2	0
Minimum Lot Area	1 Acre	2 Acres	None
Minimum Lot Width	105 ft.	200 ft.	None
Minimum Floor Area	2,400 sqft.	1,800 sqft.	None
Minimum Front Yard	40 ft.	40 ft.	60 ft.
Minimum Side Yard	20 ft.	25 ft.	None
Minimum Rear Yard	20 ft.	20 ft.	15 ft.
Maximum Lot Coverage	25 %	25 %	50 %
Max Height (stories/ft.)	3/35 ft.	3/35 ft.	3/35 ft.
Maximum Floor: Area Ratio	None	None	1:1

Embree Site Data Summary Table						
Site	Building 1 Restaurant w/ Drive Thru	Building 2 Restaurant w/ Drive Thru	Building 3 Restaurant w/ Drive Thru	Building 4 Medical Office	Building 5 Medical Office	Totals
Building Square Footage	3,744	3,180	974	10,700	14,100	32,698
Patio Square Footage	N/A	435	N/A	N/A	N/A	435
Total Building SF	3744	3615	974	10,700	14,475	
Building Height	Max 30'					
Parking Ratio	1/75 SF			1/200 SF		
Parking Required	50	48	13	54	71	235
Parking Provided	47	33	25	40	70	215
ToFM 20% Rule	± 10 Stalls	± 8 Stalls	± 2 Stalls	± 10 stalls	± 14 stalls	± 44 stalls

- NOTE:
- RETENTION PONDS WILL BE WET PONDS.
 - A REDUCED RIGHT TURN LANE LENGTH SHALL BE PROVIDED IF IT IS DETERMINED THAT A SPECIMEN TREE CAN BE SAVED.



The John R. McAdams Company, Inc.
111 Hillside Drive
Lewisville, Texas 75057
972.436.9712
201 Country View Drive
Rockwall, TX 75087
940.240.1012
TBPE: 19762 TBPLS: 10194440
www.mcadamsco.com



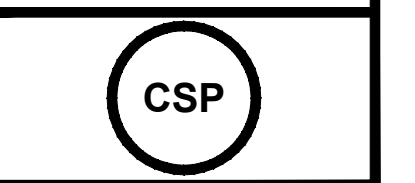
EMBREE 2499
TRACTS 18, 19, 21, 24
6.81 Acres
in the
J. STEWART & J. WIZWELL SURVEY, ABSTRACT NO. A1161A
A1846A
DENTON COUNTY, TEXAS

Conceptual Site Plan

PRELIMINARY PLANS
THIS DOCUMENT IS FOR INTERIM REVIEW AND IS NOT INTENDED FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES. THE JOHN R. MCADAMS COMPANY, INC. TBPE: 19762 JOSHUA M. BARTON, P.E. #129227 DATE 6/23/2022

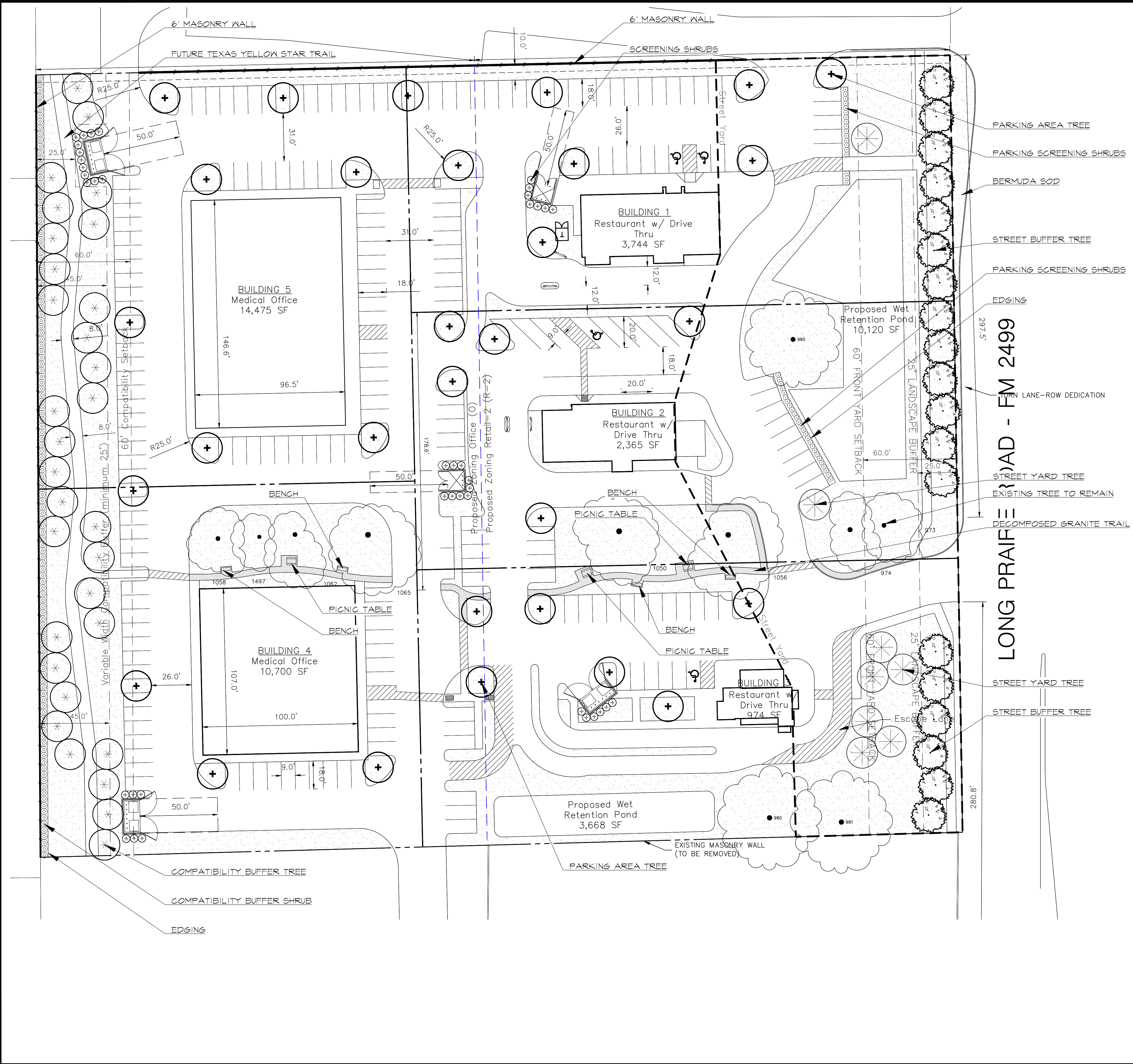
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Revisions: 01/11/2022
Revisions: 03/11/2022
Revisions: 04/06/2022
Revisions: 04/27/2022
Revisions: 05/18/2022
Revisions: 06/20/2022

2020310385



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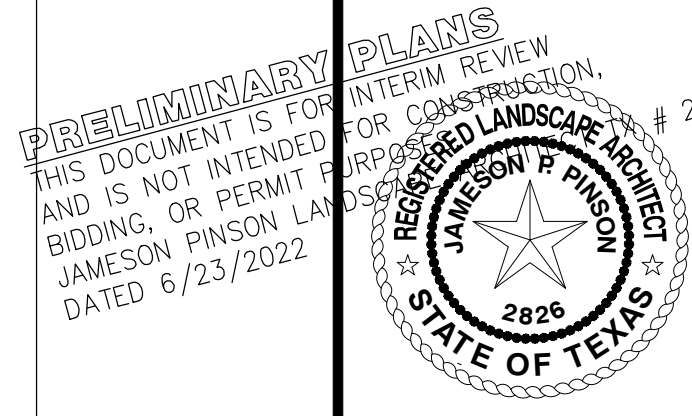
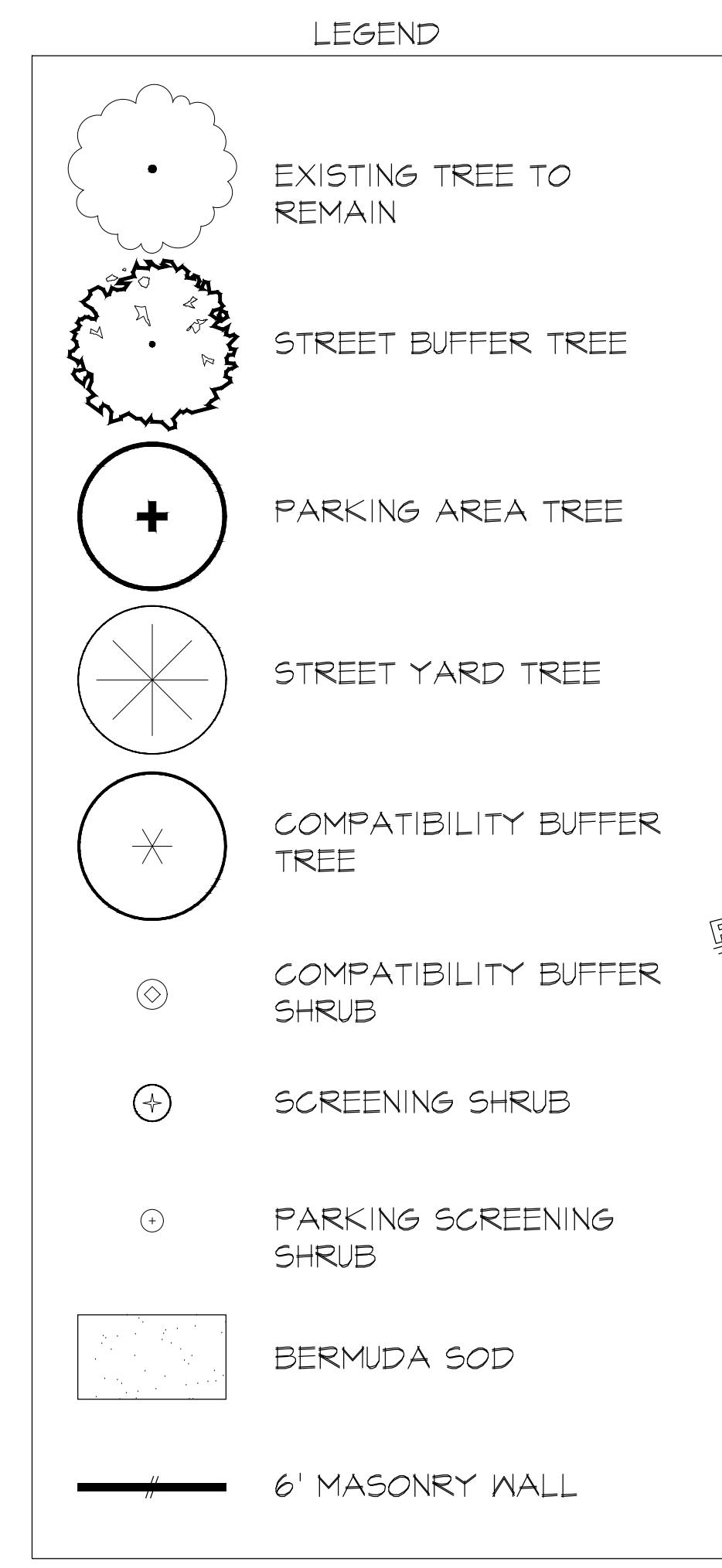
EXHIBIT "D" - CONCEPTUAL LANDSCAPE PLAN



LANDSCAPE REQUIREMENT COMPLIANCE
TOWN OF FLOWER MOUND
Embree 2499

STREET BUFFER WIDTH			
STANDARD		REQUIRED	PROVIDED
Long Prairie Rd.		25 ft.	25 ft.
STREET BUFFER TREES			
STANDARD	STREET FRONTAGE (LINEAR FEET)	REQUIRED	PROVIDED
1 per 30 Lf.	499.94 Lf.	17 trees (3" cal.)	19 trees (3" cal.)
STREET YARD LANDSCAPING			
STANDARD	TOTAL STREET YARD (SQUARE FEET)	REQUIRED	PROVIDED
Min. 20% of street yard	71,783 s.f. of street yard	14,357 s.f. of street yard	39,240 s.f. of street yard
STREET YARD TREES			
STANDARD	TOTAL STREET YARD (SQUARE FEET)	REQUIRED	PROVIDED
Between 10,000 and 110,000 s.f. = 10 + 1 tree for every 2,500 s.f. after 10,000 s.f.	71,783 s.f. of street yard	35 Trees (3" cal.)	8 street yard trees + 19 buffer trees + 4 parking tree + 5 existing trees
COMPATIBILITY BUFFER REQUIREMENTS			
STANDARD (WEST PROPERTY)	TOTAL AREA	REQUIRED	PROVIDED
25' compatibility buffer along west property		25 ft.	Variable width - Avg. 45 ft.
1 shade tree per 400 s.f.	12,575 s.f.	31 trees (3" cal.)	31 trees (3" cal.)
Understory Screening Plants		6' screening shrubs	6' screening shrubs
Min. 6' Masonry Wall		6' masonry wall	6' masonry wall
60' compatibility buffer setback		60 ft.	60 ft.
PARKING AREA LANDSCAPING			
STANDARD	# OF PARK. SPACES	REQUIRED	PROVIDED
90 s.f. per 12 spaces	212 Parking Spaces	1,590 s.f.	32,650 s.f.
1 tree per 10 parking spaces	212 Parking Spaces	21 trees (3" cal.)	30 canopy trees + 6 existing trees

**All parking spaces to be located within 50 ft. of Parking lot tree.



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(DBA: G&A McAdams)
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940.240.1012
TPE#: 19922 TPE#: 19194440
www.mcadamsco.com



EMBREE 2499
Lot Value, Block Value
EMBREE 2499
Value Acres
in the
J. WIZWELL SURVEY ABSTRACT NO. 1346, TR. 45
TOWN OF FLOWER MOUND
DENTON COUNTY, TEXAS

CONCEPTUAL LANDSCAPE PLAN

Drawn By: MR
Date: 06/21/2021
Scale: 1"=30'

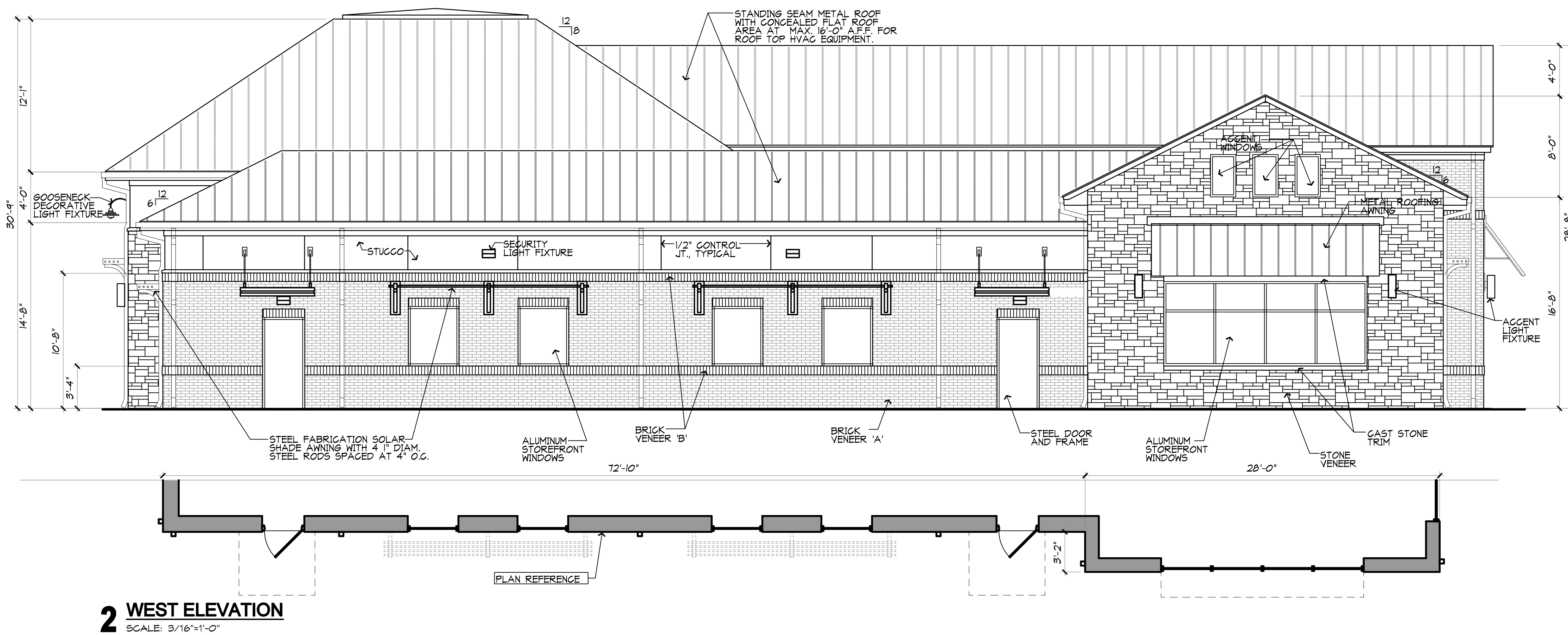
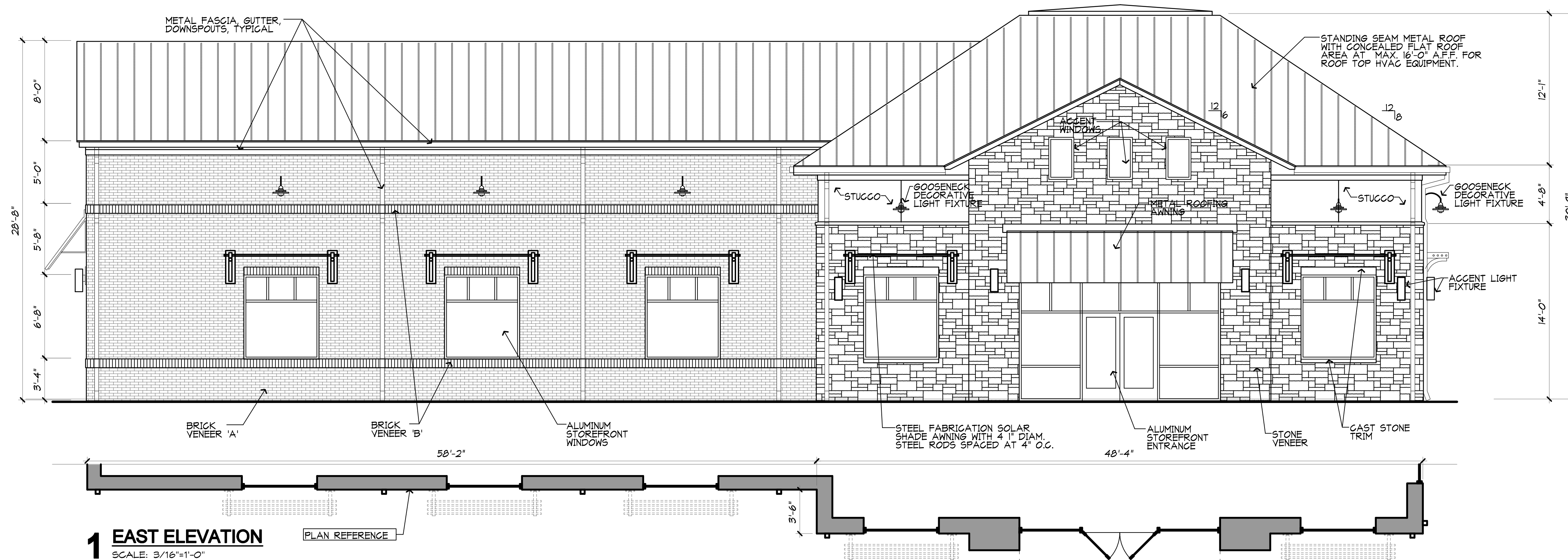
Revisions:

08/06/2021	
09/24/2021	
12/15/2021	
03/11/2022	
03/18/2022	
04/08/2022	
04/29/2022	
06/23/2022	

2020310385

OWNER/DEVELOPER
JERRY FRAZIER
EMBREE ASSET GROUP, INC.
124 McMAKIN RD.
BARTONVILLE, TX 76226

L2.0



MATERIAL TABULATIONS CHART: BUILDING 4

	NORTH	SOUTH	EAST	WEST
1. TOTAL FACADE S.F.	1782 S.F.	2004 S.F.	2344 S.F.	2002 S.F.
2. FACADE S.F. (EXCLUSIVE OF DOORS AND WINDOWS)	1412 S.F.	1716 S.F.	2021 S.F.	1751 S.F.
3. DOORS AND WINDOWS S.F.	370 S.F.	288 S.F.	373 S.F.	251 S.F.
4. PRIMARY MASONRY TOTALS (MIN. 80%)	92%	93%	94%	92%
BRICK S.F.	345 S.F.	566 S.F.	1054 S.F.	763 S.F.
STONE S.F.	633 S.F.	1014 S.F.	760 S.F.	443 S.F.
STUCCO S.F.	323 S.F.	12 S.F.	86 S.F.	355 S.F.
TILT-WALL S.F.	N/A	N/A	N/A	N/A
5. SECONDARY MASONRY TOTALS (MAX. 20%)	8%	7%	6%	8%
EIPS S.F.	N/A	N/A	N/A	N/A
HARDPLANK (TRIM/FASCIA) S.F.	121 S.F.	124 S.F.	113 S.F.	140 S.F.
ADDITIONAL DETAIL S.F.	N/A	N/A	N/A	N/A

- MATERIAL SELECTIONS**
- STONE VENEER: AUSTIN WHITE (MATCH)
 - CAST STONE TRIM/HEADERS: MATCH AUSTIN WHITE
 - BRICK 'A': ACME - MOCHA BROWN ANTIQUE (KING)
 - BRICK 'B': ACME - ASHWOOD (SOLDIER COURSE)
 - STUCCO: MATCH SW6150 UNIVERSAL KHAKI
 - METAL ROOFING: BERRIDGE ZINC GREY
 - METAL FASCIA/TRIM/GUTTERS/DOWNSPOUTS: EXCEPTIONAL METALS SLATE GRAY
 - ALUMINUM STOREFRONT: ANODIZED ALUMINUM
 - CANOPY/SOLAR SHADE/STEEL ACCENTS: POWDERCOATED MATCH TO SW7048 URBANE BRONZE
 - STEEL/HOLLOW METAL DOORS AND FRAMES: MATCH SW6150 UNIVERSAL KHAKI

BUILDING 4

FM 2499 MULTI TENANT DEVELOPMENT

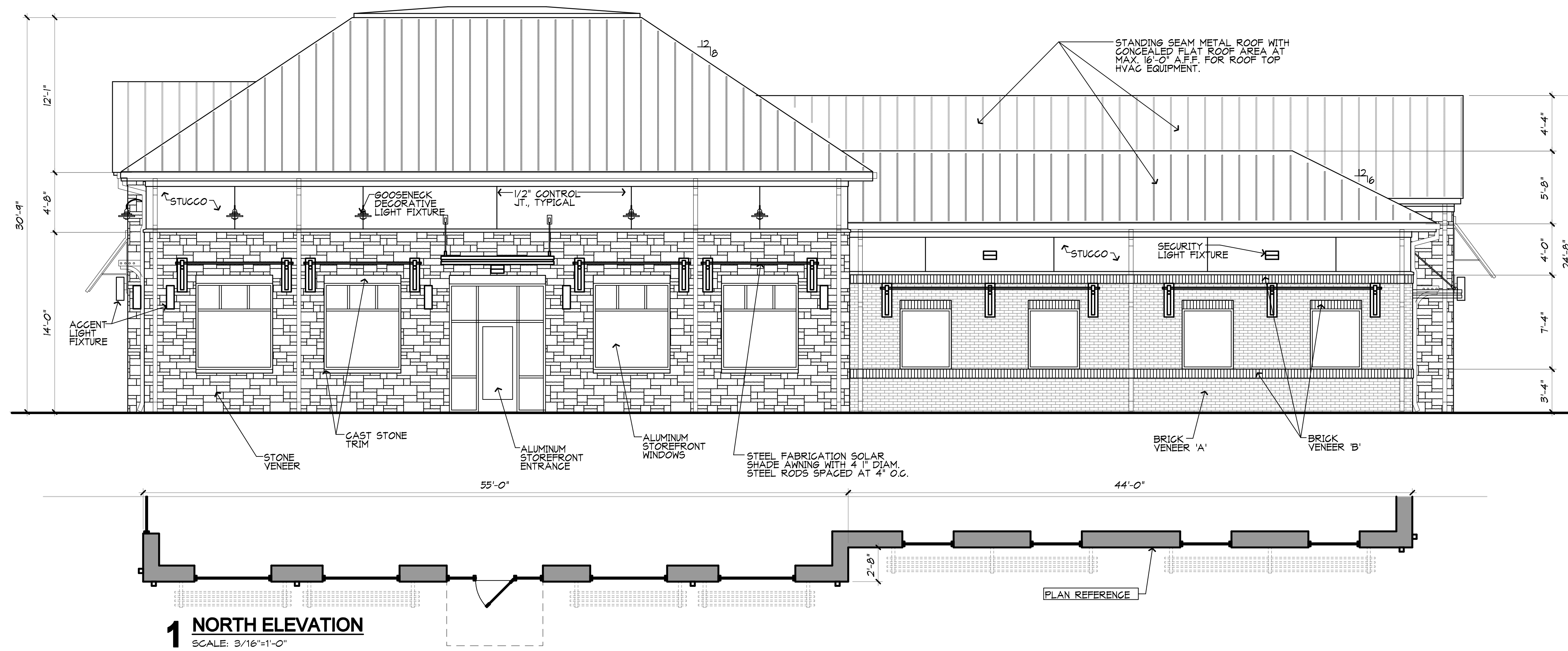
EMBREE GROUP
3207 FM 2499
FLOWER MOUND, TEXAS 75022

JOB NO. A2121
DATE: September 30, 2021

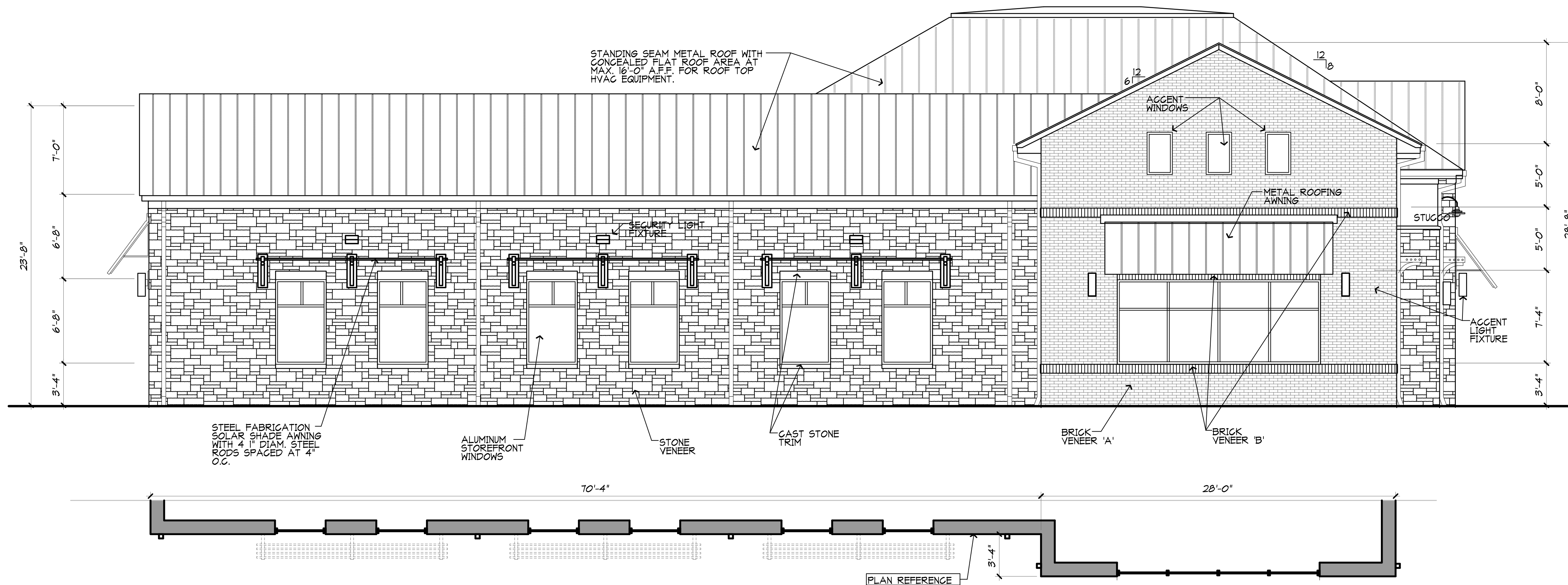
SHEET NO.
ELEV-01
OF



9/30/2021



1 NORTH ELEVATION
SCALE: 3/16"=1'-0"



2 SOUTH ELEVATION
SCALE: 3/16"=1'-0"

MATERIAL SELECTIONS	
STONE VENEER:	AUSTIN WHITE (MATCH)
CAST STONE TRIM/HEADERS:	MATCH AUSTIN WHITE
BRICK 'A':	ACME - MOCHA BROWN ANTIQUE (KING)
BRICK 'B':	ACME - ASHWOOD (SOLDIER COURSE)
STUCCO:	MATCH SW6150 UNIVERSAL KHAKI
METAL ROOFING:	BERRIDGE ZINC GREY
METAL FASCIA/TRIM/GUTTERS/DOWNSPOUTS:	EXCEPTIONAL METALS SLATE GRAY
ALUMINUM STOREFRONT:	ANODIZED ALUMINUM
GANOPY/SOLAR SHADE/STEEL ACCENTS:	POWDERCOATED MATCH TO SW7048 URBANE BRONZE
STEEL/HOLLOW METAL DOORS AND FRAMES:	MATCH SW6150 UNIVERSAL KHAKI

BUILDING 4

FM 2499 MULTI TENANT DEVELOPMENT

EMBREE GROUP
3207 FM 2499
FLOWER MOUND, TEXAS 75022

JOB NO. A2121
DATE: September 30, 2021

SHEET NO.
ELEV-02
OF



1 EAST ELEVATION
SCALE: 3/16"=1'-0"



2 WEST ELEVATION
SCALE: 3/16"=1'-0"

MATERIAL SELECTIONS	
STONE VENEER:	AUSTIN WHITE (MATCH)
CAST STONE TRIM/HEADERS:	MATCH AUSTIN WHITE
BRICK 'A':	ACME - MOCHA BROWN ANTIQUE (KING)
BRICK 'B':	ACME - ASHWOOD (SOLDIER COURSE)
STUCCO:	MATCH SW6150 UNIVERSAL KHAKI
METAL ROOFING:	BERRIDGE ZINC GREY
METAL FASCIA/TRIM/GUTTERS/DOWNSPOUTS:	EXCEPTIONAL METALS SLATE GRAY
ALUMINUM STOREFRONT:	ANODIZED ALUMINUM
CANOPY/SOLAR SHADE/STEEL ACCENTS:	POWDERCOATED MATCH TO SW7048 URBANE BRONZE
STEEL/HOLLOW METAL DOORS AND FRAMES:	MATCH SW6150 UNIVERSAL KHAKI

BUILDING 4

FM 2499 MULTI TENANT DEVELOPMENT

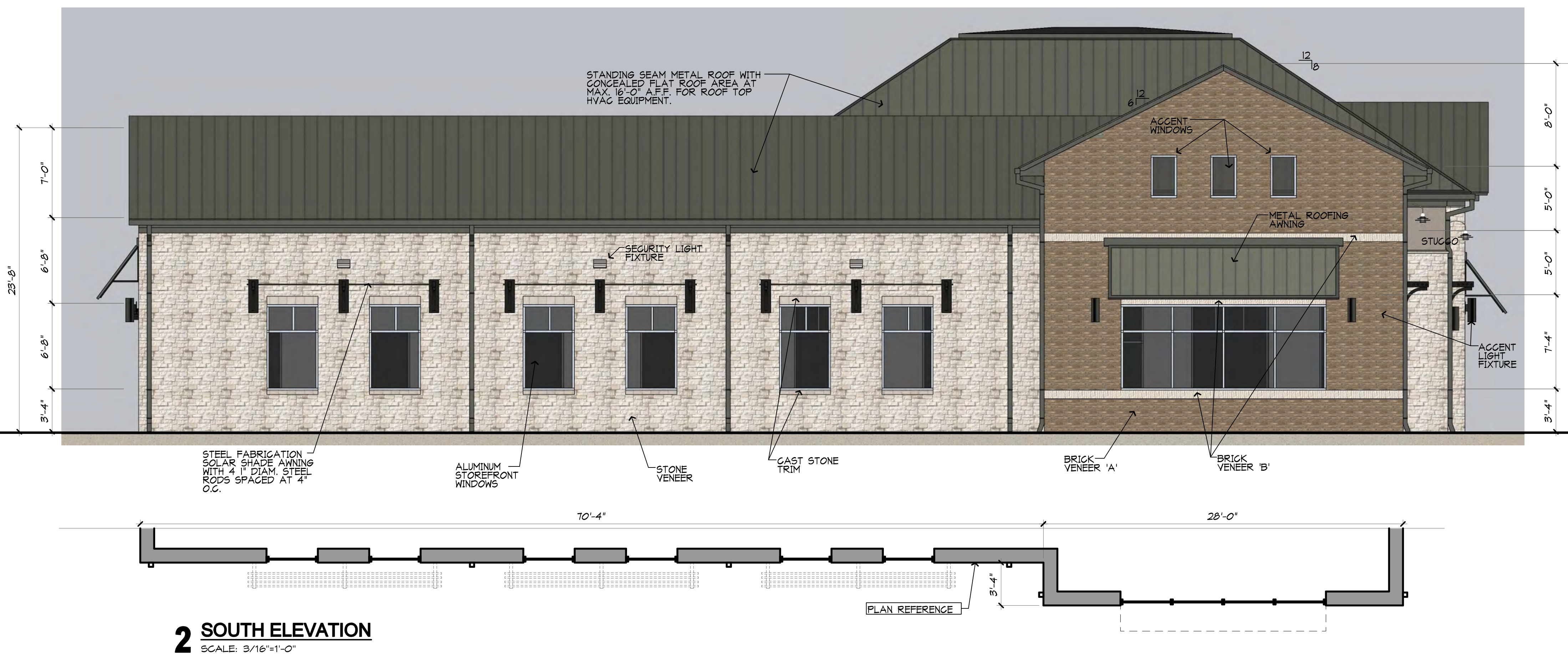
EMBREE GROUP
3207 FM 2499
FLOWER MOUND, TEXAS 75022

JOB NO. A2121
DATE: September 30, 2021

SHEET NO.
ELEV-03
OF



1 NORTH ELEVATION
SCALE: 3/16"=1'-0"



2 SOUTH ELEVATION
SCALE: 3/16"=1'-0"

MATERIAL SELECTIONS	
STONE VENEER:	AUSTIN WHITE (MATCH)
CAST STONE TRIM/HEADERS:	MATCH AUSTIN WHITE
BRICK 'A':	ACME - MOCHA BROWN ANTIQUE (KING)
BRICK 'B':	ACME - ASHWOOD (SOLDIER COURSE)
STUCCO:	MATCH SW6150 UNIVERSAL KHAKI
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METAL FASCIA/TRIM/GUTTERS/DOWNSPOUTS:	EXCEPTIONAL METALS SLATE GRAY
ALUMINUM STOREFRONT:	ANODIZED ALUMINUM
CANOPY/SOLAR SHADE/STEEL ACCENTS:	POWDERCOATED MATCH TO SW7048 URBANE BRONZE
STEEL/HOLLOW METAL DOORS AND FRAMES:	MATCH SW6150 UNIVERSAL KHAKI

BUILDING 4



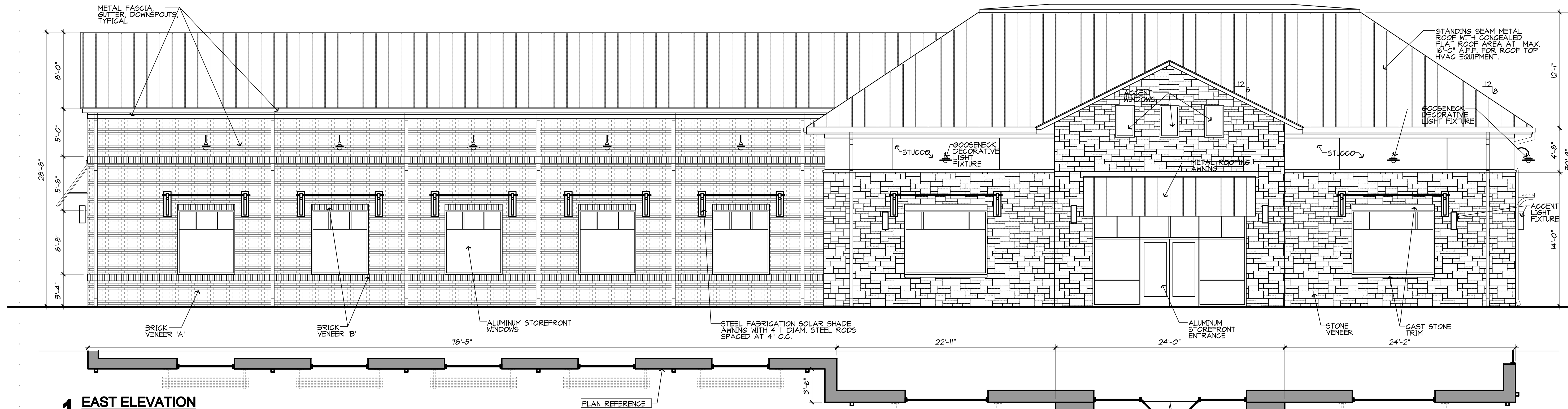
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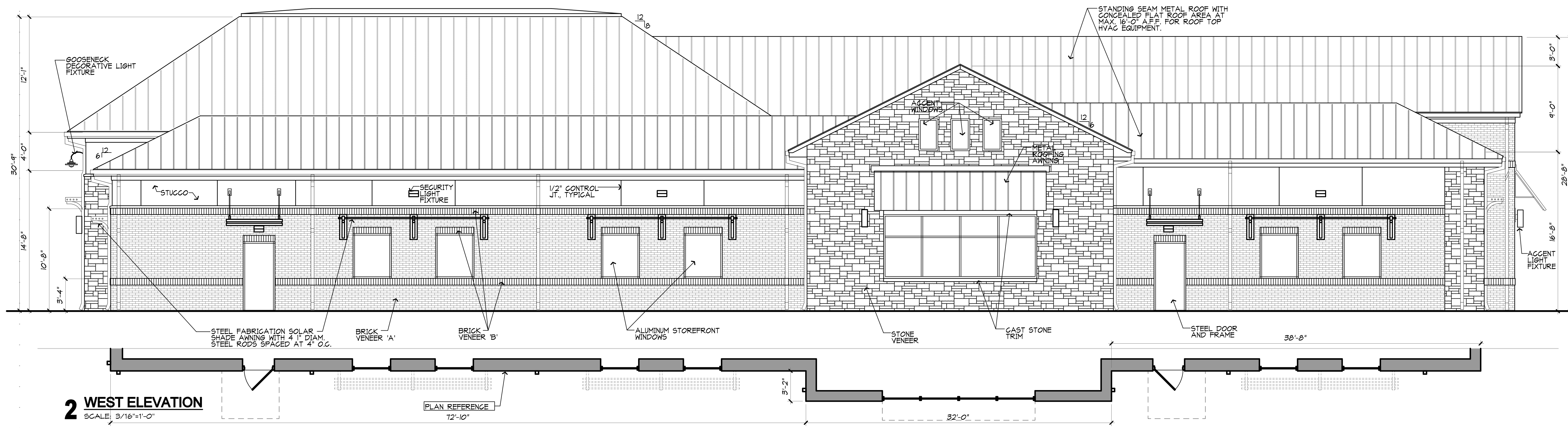
EMBREE GROUP
3207 FM 2499
FLOWER MOUND, TEXAS 75022

JOB NO. A2121
DATE: September 30, 2021

SHEET NO.
ELEV-04
OF



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SCALE: 3/16"=1'-0"



2 WEST ELEVATION
SCALE: 3/16"=1'-0"

MATERIAL TABULATIONS CHART: BUILDING 5

	NORTH	SOUTH	EAST	WEST
1. TOTAL FAÇADE S.F.	1743 S.F.	1880 S.F.	3037 S.F.	2104 S.F.
2. FAÇADE S.F. (EXCLUSIVE OF DOORS AND WINDOWS)	1507 S.F.	1690 S.F.	2549 S.F.	2414 S.F.
3. DOORS AND WINDOWS S.F.	236 S.F.	290 S.F.	488 S.F.	290 S.F.
4. PRIMARY MASONRY TOTALS (MIN. 80%)	92%	93%	93%	92%
BRICK S.F.	482 S.F.	566 S.F.	1315 S.F.	1100 S.F.
STONE S.F.	557 S.F.	942 S.F.	845 S.F.	653 S.F.
STUCCO S.F.	348 S.F.	12 S.F.	172 S.F.	469 S.F.
TILT-WALL S.F.	N/A	N/A	N/A	N/A
5. SECONDARY MASONRY TOTALS (MAX. 20%)	8%	7%	7%	8%
EIFS S.F.	N/A	N/A	N/A	N/A
HARDIPLANK (TRIM/FASCIA) S.F.	120 S.F.	120 S.F.	167 S.F.	192 S.F.
ADDITIONAL DETAIL S.F.	N/A	N/A	N/A	N/A

MATERIAL SELECTIONS

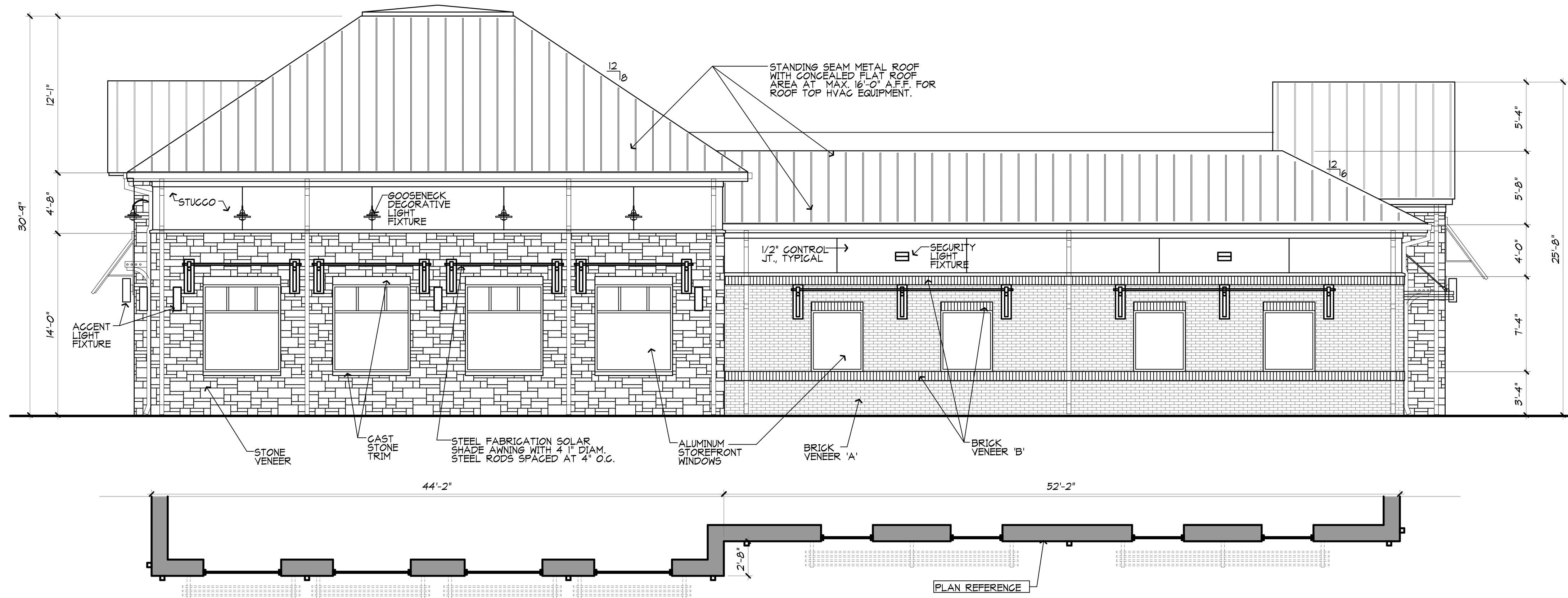
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- GAST STONE TRIM/HEADERS: MATCH AUSTIN WHITE
- BRICK 'A': ACME - MOCHA BROWN ANTIQUE (KING)
- BRICK 'B': ACME - ASHWOOD (SOLDIER COURSE)
- STUCCO: MATCH SW6150 UNIVERSAL KHAKI
- METAL ROOFING: BERRIDGE ZINC GREY
- METAL FASCIA/TRIM/GUTTERS/DOWNSPOUTS: EXCEPTIONAL METALS SLATE GRAY
- ALUMINUM STOREFRONT: ANODIZED ALUMINUM
- CANOPY/SOLAR SHADE/STEEL ACCENTS: POWDERCOATED MATCH TO SW7048 URBANE BRONZE
- STEEL/HOLLOW METAL DOORS AND FRAMES: MATCH SW6150 UNIVERSAL KHAKI

BUILDING 5

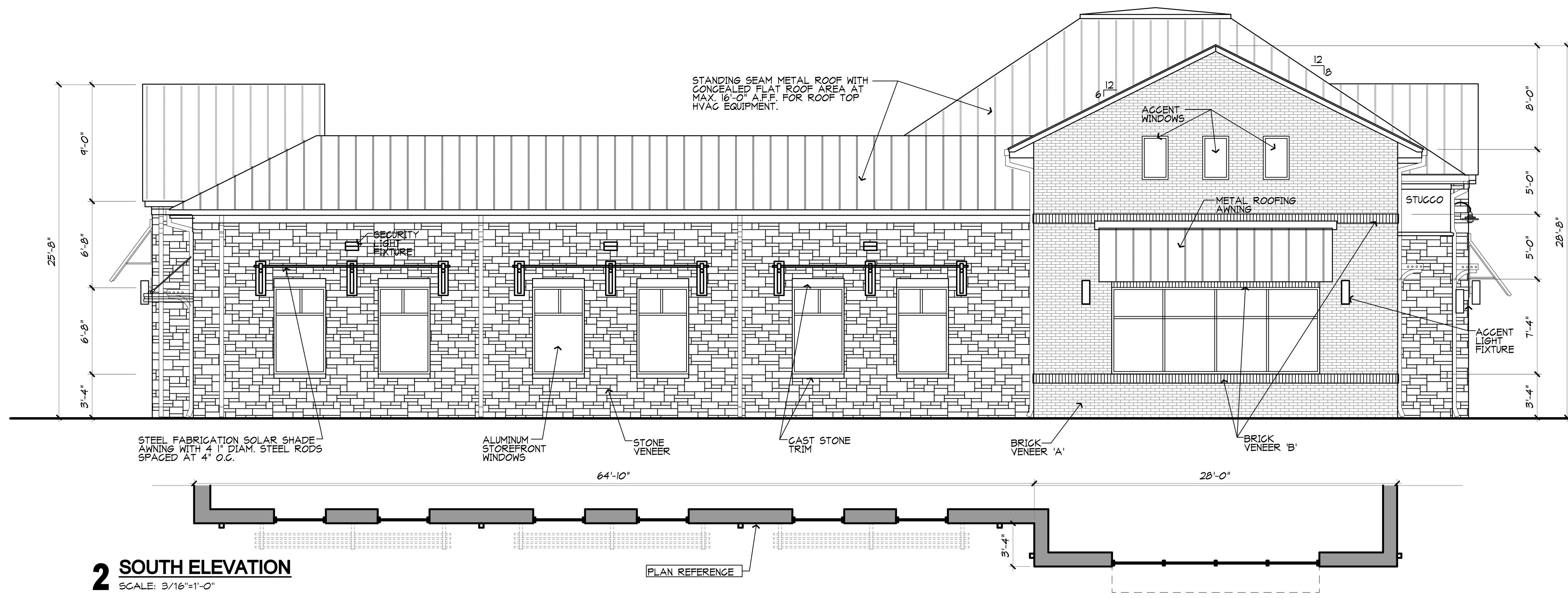
SHEET NO. **ELEV-05**
OF

FM 2499 MULTI TENANT DEVELOPMENT

EMBREE GROUP
3207 FM 2499
FLOWER MOUND, TEXAS 75022



1 NORTH ELEVATION
SCALE: 3/16"=1'-0"



2 SOUTH ELEVATION
SCALE: 3/16"=1'-0"

MATERIAL SELECTIONS	
STONE VENEER:	AUSTIN WHITE (MATCH)
CAST STONE TRIM/HEADERS:	MATCH AUSTIN WHITE
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BRICK 'B':	ACME - ASHWOOD (SOLDIER COURSE)
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ALUMINUM STOREFRONT:	ANODIZED ALUMINUM
CANOPY/SOLAR SHADE/STEEL ACCENTS:	POWDERCOATED MATCH TO SW1048 URBANE BRONZE
STEEL/HOLLOW METAL DOORS AND FRAMES:	MATCH SW6150 UNIVERSAL KHAKI

BUILDING 5



9/30/2021

FM 2499 MULTI TENANT DEVELOPMENT

EMBRÉE GROUP
3207 FM 2499
FLOWER MOUND, TEXAS 75022

JOB NO. A2121
DATE: September 30, 2021

SHEET NO.
ELEV-06
OF

WRIGHT GROUP
 ARCHITECTS - PLANNERS, PLLC
 1430 S BROADWAY STREET
 CARROLLTON, TEXAS
 7 5 0 0 6
 (972) 242-1015



1 EAST ELEVATION
 SCALE: 3/16"=1'-0"



2 WEST ELEVATION
 SCALE: 3/16"=1'-0"

MATERIAL SELECTIONS

- STONE VENEER: AUSTIN WHITE (MATCH)
- GAST STONE TRIM/HEADERS: MATCH AUSTIN WHITE
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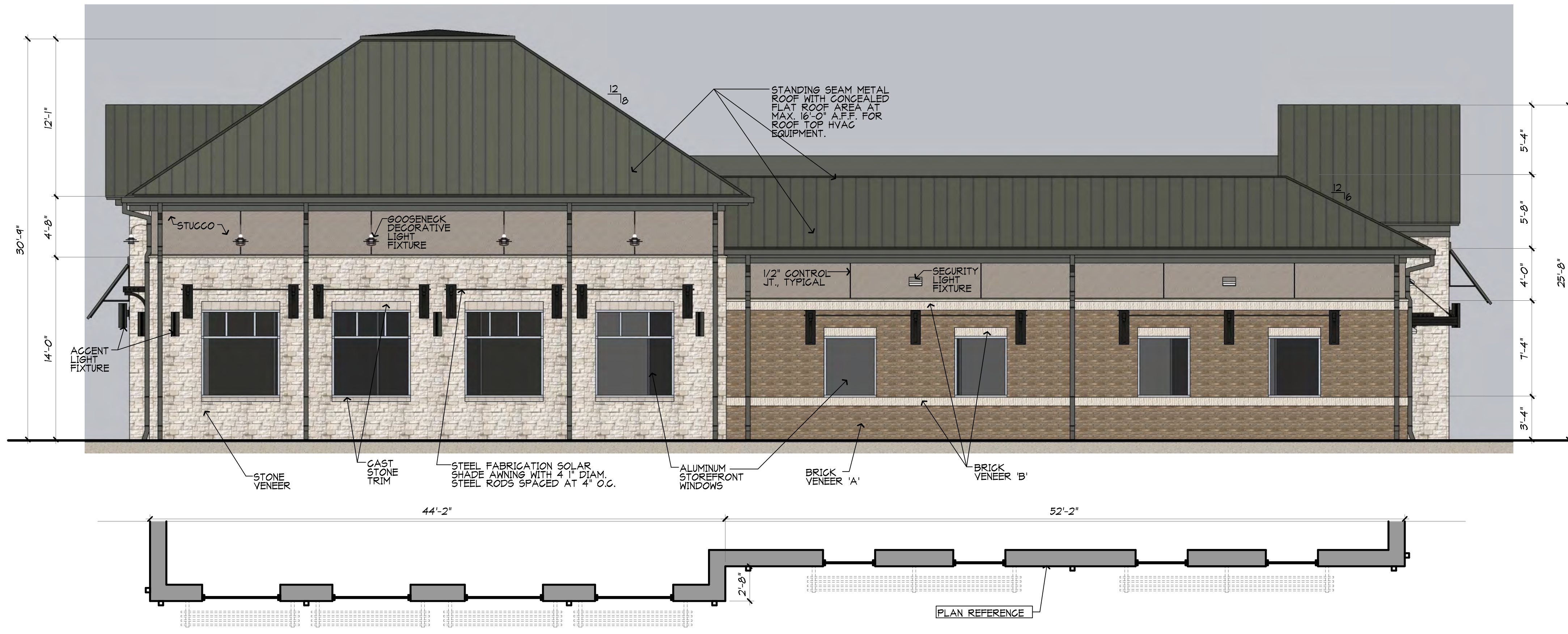
CONCEPT ELEVATIONS: NOT FOR BUILDING PERMIT OR CONSTRUCTION
 © WRIGHT GROUP Architects-Planners, PLLC, 2021

FM 2499 MULTI TENANT DEVELOPMENT
 EMBREE GROUP
 3207 FM 2499
 FLOWER MOUND, TEXAS 75022

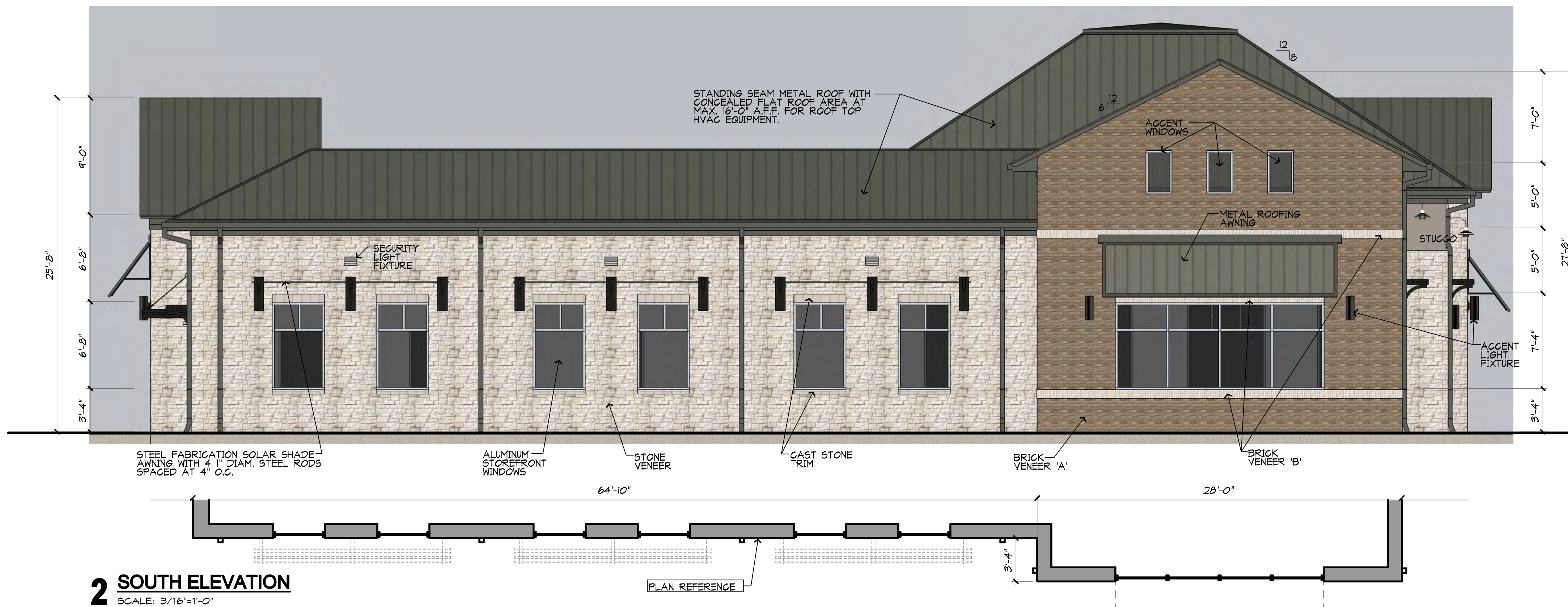
JOB NO. A2121
 DATE: September 30, 2021

SHEET NO.
ELEV-07
 OF

BUILDING 5



1 NORTH ELEVATION
SCALE: 3/16"=1'-0"



2 SOUTH ELEVATION
SCALE: 3/16"=1'-0"

MATERIAL SELECTIONS	
STONE VENEER:	AUSTIN WHITE (MATCH)
CAST STONE TRIM/HEADERS:	MATCH AUSTIN WHITE
BRICK 'A':	ACME - MOCHA BROWN ANTIQUE (KING)
BRICK 'B':	ACME - ASHWOOD (SOLDIER COURSE)
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ALUMINUM STOREFRONT:	ANODIZED ALUMINUM
CANOPY/SOLAR SHADE/STEEL ACCENTS:	POWDERCOATED MATCH TO SW7048 URBANE BRONZE
STEEL/HOLLOW METAL DOORS AND FRAMES:	MATCH SW6150 UNIVERSAL KHAKI

CONCEPT ELEVATIONS: NOT FOR BUILDING PERMIT OR CONSTRUCTION
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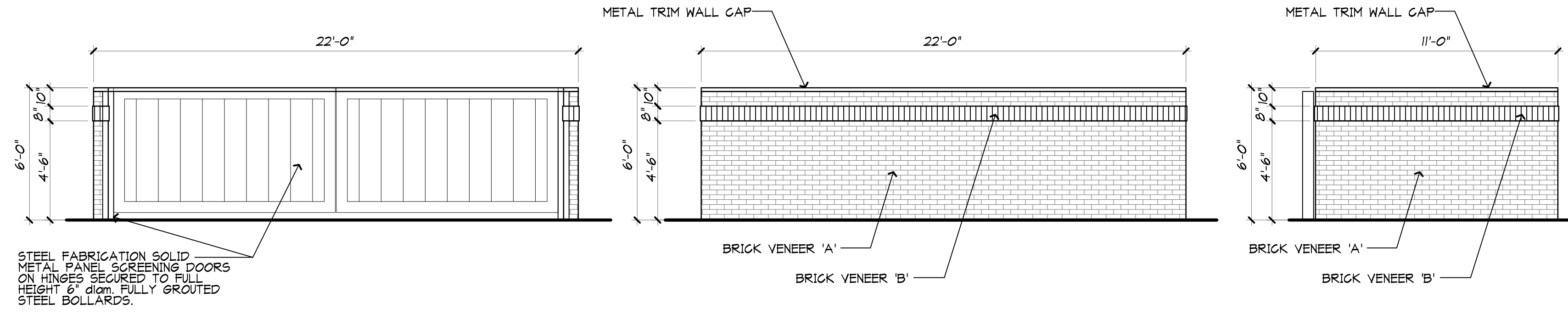
FM 2499 MULTI TENANT DEVELOPMENT

EMBREE GROUP
3207 FM 2499
FLOWER MOUND, TEXAS 75022

BUILDING 5

SHEET NO.
ELEV-08
OF

JOB NO. A2121
DATE: September 30, 2021



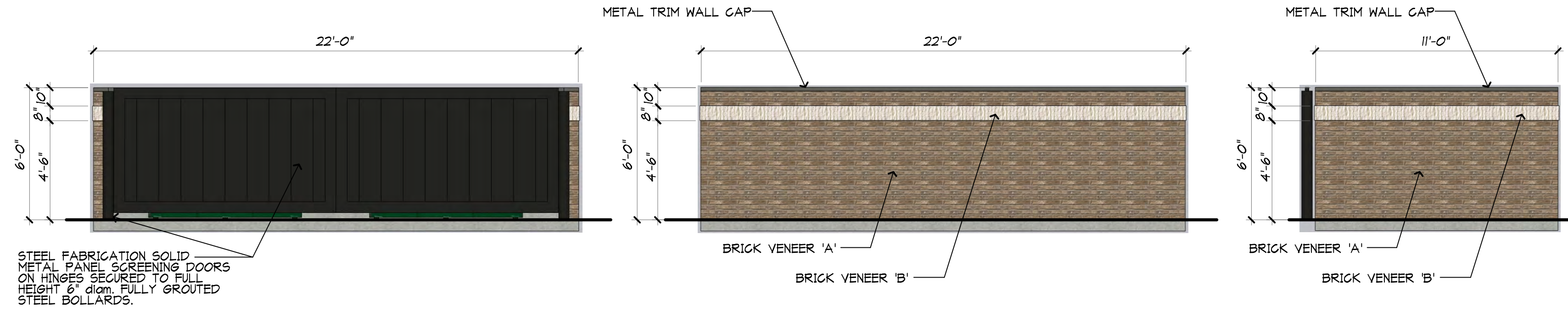
STEEL FABRICATION SOLID METAL PANEL SCREENING DOORS ON HINGES SECURED TO FULL HEIGHT 6' diam. FULLY GROUTED STEEL BOLLARDS.

1 DUMPSTER ENCLOSURE FRONT
SCALE: 1/4"=1'-0"

2 DUMPSTER ENCLOSURE BACK
SCALE: 1/4"=1'-0"

3 DUMPSTER ENCLOSURE SIDES
SCALE: 1/4"=1'-0"

MATERIAL SELECTIONS	
STONE VENEER:	AUSTIN WHITE (MATCH)
CAST STONE TRIM/HEADERS:	MATCH AUSTIN WHITE
BRICK 'A':	ACME - MOCHA BROWN ANTIQUE (KING)
BRICK 'B':	ACME - ASHWOOD (SOLDIER COURSE)
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METAL FASCIA/TRIM/GUTTERS/DOWNSPOUTS:	EXCEPTIONAL METALS SLATE GRAY
ALUMINUM STOREFRONT:	ANODIZED ALUMINUM
CANOPY/SOLAR SHADE/STEEL ACCENTS:	POWDER-COATED MATCH TO SW7048 URBANE BRONZE
STEEL/HOLLOW METAL DOORS AND FRAMES:	MATCH SW6150 UNIVERSAL KHAKI



STEEL FABRICATION SOLID METAL PANEL SCREENING DOORS ON HINGES SECURED TO FULL HEIGHT 6' diam. FULLY GROUTED STEEL BOLLARDS.

4 DUMPSTER ENCLOSURE FRONT
SCALE: 1/4"=1'-0"

5 DUMPSTER ENCLOSURE BACK
SCALE: 1/4"=1'-0"

6 DUMPSTER ENCLOSURE SIDES
SCALE: 1/4"=1'-0"



FM 2499 MULTI TENANT DEVELOPMENT
EMBREE GROUP
3207 FM 2499
FLOWER MOUND, TEXAS 75022

Certificate Of Completion

Envelope Id: BC723CB76EC142518E284DC12BF2CCAC	Status: Completed
Subject: 6.20.22_13_ORD 33-22 ZPD21-0010 - Embree.pdf	
Source Envelope:	
Document Pages: 20	Signatures: 2
Certificate Pages: 5	Initials: 0
AutoNav: Enabled	Envelope Originator:
Envelopeld Stamping: Disabled	Anne Carnes
Time Zone: (UTC-06:00) Central Time (US & Canada)	2121 Cross Timbers Rd
	Flower Mound, TX 75028
	anne.carnes@flower-mound.com
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Signer Events

Signature	Timestamp
Derek France mayor@flower-mound.com Mayor Town of Flower Mound Security Level: Email, Account Authentication (None)	Sent: 7/14/2022 5:08:33 PM Viewed: 7/14/2022 5:14:14 PM Signed: 7/14/2022 5:14:34 PM
Signature Adoption: Pre-selected Style Using IP Address: 47.185.128.104	

Electronic Record and Signature Disclosure:
Accepted: 6/22/2021 2:20:34 PM
ID: 964510c2-b844-4143-a0ab-81863a2ef394

Theresa Scott Theresa.scott@flower-mound.com xxxxxxxxxxxxxxxx		Sent: 7/14/2022 5:14:42 PM Viewed: 7/15/2022 10:03:19 AM Signed: 7/15/2022 10:03:29 AM
Security Level: Email, Account Authentication (None)	Signature Adoption: Pre-selected Style Using IP Address: 166.168.140.199	

Electronic Record and Signature Disclosure:
Accepted: 7/15/2022 10:03:19 AM
ID: b478cfff-d2e5-49c4-b5bd-61cb68c663bc

In Person Signer Events **Signature** **Timestamp**

Editor Delivery Events **Status** **Timestamp**

Agent Delivery Events **Status** **Timestamp**

Intermediary Delivery Events **Status** **Timestamp**

Certified Delivery Events **Status** **Timestamp**

Carbon Copy Events **Status** **Timestamp**

Ginger Choate Ginger.Choate@flower-mound.com Security Level: Email, Account Authentication (None)	COPIED	Sent: 7/15/2022 10:03:37 AM
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Electronic Record and Signature Disclosure:
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Carbon Copy Events	Status	Timestamp
GIS Helpdesk gis-helpdesk@flower-mound.com Security Level: Email, Account Authentication (None) Electronic Record and Signature Disclosure: Not Offered via DocuSign	COPIED	Sent: 7/15/2022 10:03:39 AM
LauriAnn Cash lauriann.cash@flower-mound.com Security Level: Email, Account Authentication (None) Electronic Record and Signature Disclosure: Not Offered via DocuSign	COPIED	Sent: 7/15/2022 10:03:40 AM
Poornima Kashyap poornima.kashyap@flower-mound.com Security Level: Email, Account Authentication (None) Electronic Record and Signature Disclosure: Not Offered via DocuSign	COPIED	Sent: 7/15/2022 10:03:41 AM
Codie Freeman codie.freeman@flower-mound.com Security Level: Email, Account Authentication (None) Electronic Record and Signature Disclosure: Not Offered via DocuSign	COPIED	Sent: 7/15/2022 10:03:43 AM Viewed: 7/15/2022 10:10:22 AM
Witness Events	Signature	Timestamp
Notary Events	Signature	Timestamp
Envelope Summary Events	Status	Timestamps
Envelope Sent	Hashed/Encrypted	7/14/2022 5:08:33 PM
Certified Delivered	Security Checked	7/15/2022 10:03:19 AM
Signing Complete	Security Checked	7/15/2022 10:03:29 AM
Completed	Security Checked	7/15/2022 10:03:43 AM
Payment Events	Status	Timestamps
Electronic Record and Signature Disclosure		

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Browsers:	Final release versions of Internet Explorer® 6.0 or above (Windows only); Mozilla Firefox 2.0 or above (Windows and Mac); Safari™ 3.0 or above (Mac only)
PDF Reader:	Acrobat® or similar software may be required to view and print PDF files
Screen Resolution:	800 x 600 minimum

Enabled Security Settings:	Allow per session cookies
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